



HILLINGDON
LONDON



North Planning Committee

Date: TUESDAY, 16 MARCH 2010

Time: 7.00 PM

Venue: COMMITTEE ROOM 5 -
CIVIC CENTRE,
HIGH STREET,
UXBRIDGE
UB8 1UW

**Meeting
Details:** Members of the Public and
Press are welcome to attend
this meeting

To Councillors on the Committee

Eddie Lavery (Chairman)
Alan Kauffman (Vice-Chairman)
Anita MacDonald
Michael Markham
Carol Melvin
John Oswell
David Payne

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Published: Monday 8 March 2010

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<http://modgov.hillingdon.gov.uk/ieListMeetings.aspx?CId=116&Year=2010>

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Head of Democratic Services
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INVESTOR IN PEOPLE

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Please enter from the Council's main reception where you will be directed to the Committee Room. An Induction Loop System is available for use in the various meeting rooms. Please contact us for further information.

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Petitions and Councillors

Petitions - Those who have organised a petition of 20 or more borough residents can speak at a Planning Committee in support of or against an application. Petitions must be submitted in writing to the Council in advance of the meeting. Where there is a petition opposing a planning application there is also the right for the applicant or their agent to address the meeting for up to 5 minutes.

Ward Councillors - There is a right for local councillors to speak at Planning Committees about applications in their Ward.

Committee Members - The planning committee is made up of the experienced Councillors who meet in public every three weeks to make decisions on applications.

Representatives of Conservation Area Advisory Panels are also members of the Committees and they advise on applications in their conservation area. They do not vote at Committee meetings

How the Committee meeting works

The Planning Committees consider the most complex and controversial proposals for development or enforcement action.

Applications for smaller developments such as householder extensions are generally dealt with by the Council's planning officers under delegated powers.

An agenda is prepared for each meeting, which comprises reports on each application

Reports with petitions will normally be taken at the beginning of the meeting.

The procedure will be as follows:-

1. The Chairman will announce the report;
2. The Planning Officer will introduce it; with a presentation of plans and photographs;

3. If there is a petition(s), the petition organiser will speak, followed by the agent/applicant followed by any Ward Councillors;
4. The Committee may ask questions of the petition organiser or of the agent/applicant;
5. The Committee debate the item and may seek clarification from officers;
6. The Committee will vote on the recommendation in the report, or on an alternative recommendation put forward by a Member of the Committee, which has been seconded.

About the Committee's decision

The Committee must make its decisions by having regard to legislation, policies laid down by National Government, by the Greater London Authority - under 'The London Plan' and Hillingdon's own planning policies as contained in the 'Unitary Development Plan 1998' and supporting guidance. The Committee must also make its decision based on material planning considerations and case law and material presented to it at the meeting in the officer's report and any representations received.

Guidance on how Members of the Committee must conduct themselves when dealing with planning matters and when making their decisions is contained in the 'Planning Code of Conduct', which is part of the Council's Constitution.

When making their decision, the Committee cannot take into account issues which are not planning considerations such as the effect of a development upon the value of surrounding properties, nor the loss of a view (which in itself is not sufficient ground for refusal of permission), nor a subjective opinion relating to the design of the property. When making a decision to refuse an application, the Committee will be asked to provide detailed reasons for refusal based on material planning considerations.

If a decision is made to refuse an application, the applicant has the right of appeal against the decision. A Planning Inspector appointed by the Government will then consider the appeal. There is no third party right of appeal, although a third party can apply to the High Court for Judicial Review, which must be done within 3 months of the date of the decision.

Agenda

- 1 Apologies for Absence
- 2 Declarations of Interest in matters coming before this meeting
- 3 To sign and receive the minutes of the previous meeting (to follow)
- 4 Matters that have been notified in advance or urgent
- 5 To confirm that the items of business marked Part 1 will be considered in public and that the items marked Part 2 will be considered in private

Reports - Part 1 - Members, Public and Press

Items are normally marked in the order that they will be considered, though the Chairman may vary this. Reports are split into 'major' and 'minor' applications. The name of the local ward area is also given in addition to the address of the premises or land concerned.

Non Major Applications without a Petition

	Address	Ward	Description & Recommendation	Page
6	Harefield Hospital, Hill End Road, Harefield 9011/APP/2009/2546	Harefield;	Retention and continued use, for a further period of two years, of single storey temporary ward building with access link to main building (previous planning permission ref.9011/APP/2006/2843.) Recommendation : Approval	1 - 12
7	94 Glebe Avenue, Ickenham 54202/APP/2009/2171	Ickenham;	Change of use from Class A1 (Shops) to Class A2 (Financial and Professional Services.) Recommendation : Approval	13 - 22
8	121 Herlwyn Avenue, Ruislip 65165/APP/2010/158	Manor;	Retention of part and demolition of part of unauthorised side and rear extension and change to roof profile Recommendation : Approval	23 - 34

9	Girl Guiding, Willow Tree Centre, Breakspear Road North, Harefield 50910/APP/2010/152	West Ruislip;	Replacement of extant planning permission ref. 50910/APP/2006/2991, dated 03-04-2007 (Erection of two single storey detached buildings for (i) training for adult youth leaders and young people including those with special needs and (ii) maintenance shed for mechanical equipment (health and safety) requirements) and provision of two additional disabled car parking spaces for people with disabilities Recommendation – Approval	35 - 44
10	56 Manor Way, Ruislip 19650/APP/2009/2604	West Ruislip;	Boundary wall to side and rear (Retrospective application) Recommendation –Approval	45 - 54

Any Other Business in Part 2

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Report of the Head of Planning & Enforcement

Address HAREFIELD HOSPITAL HILL END ROAD HAREFIELD MIDDLESEX

Development: Retention and continued use, for a further period of two years, of single storey temporary ward building with access link to main building (previous planning permission ref.9011/APP/2006/2843.)

LBH Ref Nos: 9011/APP/2009/2546

Drawing Nos: Arboricultural Report
Supporting Planning Statement
Design & Access Statement
2097/04
2097/05
2097/02
2097/03
2097/01

Date Plans Received: 24/11/2009 **Date(s) of Amendment(s):** 24/11/2009
Date Application Valid: 12/01/2010 24/12/2009

1. SUMMARY

Planning permission is sought for the retention of a temporary single storey 36 bed ward building in the garden fronting the main block at Harefield Hospital. Originally permission was granted for a temporary period of 2 years, in order to allow upgrading and remedial works to be carried out, without impacting on services or having them transferred elsewhere.

This permission is sought because this time period has now lapsed and seeks to extend the time period for a further two years. The building is still being used as a ward and the supporting planning statement submitted with the application states the Trust's requirement for this building is for a temporary facility for a further 2 years. Once the 2 years has elapsed it is anticipated the development of a permanent ward accommodation and other facilities at Harefield will have progressed.

2. RECOMMENDATION

APPROVAL subject to the following:

1 NONSC **After 2 yrs the building shall be removed and land restored**

The building hereby permitted shall be removed and the land and the existing building restored to their former condition on or before 2 years from the date of this permission, in accordance with a scheme of work submitted to and approved in writing by the Local Planning Authority.

REASON

The proposed building is not acceptable as a permanent feature of the site, by reason of its design, size and location. The long term retention of the building would not make a positive contribution to the character and appearance of Harefield Village Conservation Area, or the Green Belt, contrary to Policies BE4 and OL4 of the Unitary Development Plan (Saved Policies September 2007).

2 NONSC Used solely in connection with the Hospital

The building hereby approved shall be used for purposes solely in connection with the functioning of the Hospital and for no other purpose which is independent of and unrelated to the Hospitals activities.

REASON

To ensure that no occupier independent of the Hospital becomes established on the site and to comply with Policy PR20 of the Unitary Development Plan (Saved Policies September 2007)

3 NONSC strict accordance

The development hereby approved shall be carried out in strict accordance with the submitted application documents, except where expressly varied by other conditions of the consent

REASON

To maintain control over the development, which is located within the Green Belt and the Harefield Village Conservation Area to comply with Policies OL1, OL4 and BE4 of the Unitary Development Plan (Saved Policies September 2007).

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

BE4	New development within or on the fringes of conservation areas
BE10	Proposals detrimental to the setting of a listed building
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
AM14	New development and car parking standards.
OL1	Green Belt - acceptable open land uses and restrictions on new development
OL2	Green Belt -landscaping improvements
OL3	OL3 Green Belt -
OL4	Green Belt - replacement or extension of buildings
OE12	Energy conservation and new development
LPP 4A.3	London Plan Policy 4A.3 - Sustainable Design and Construction.
PPG2	Green Belts
PPG15	Historic Environment

3 13 Building Regulations - Demolition and Building Works

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

4 16 Property Rights/Rights of Light

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

5

You are advised that the Local Planning Authority consider that the long term retention of the temporary building hereby approved, due to its size, siting and design, will compromise the setting of the existing Hospital buildings, detract from the Harefield Village Conservation Area and visual amenity of this major development site within the Green Belt. It is therefore unlikely that planning permission will be renewed, should a subsequent planning application be submitted for the further retention of this building.

3. CONSIDERATIONS

3.1 Site and Locality

The Harefield Hospital site is situated within the Green Belt and also within Harefield Village Conservation Area. A number of the buildings on the site are statutorily listed Grade II. The site is designated as a major developed site within the Green Belt in the Unitary Development Plan (UDP) (Saved Policies September 2007).

The main block at Harefield Hospital comprises two, three storey elliptical 1930's wings, loosely in the style of Art Deco, with the central Anzac Centre. The temporary building to which this application relates is located within the garden area fronting Wards B, C, and D. This area is relatively level and grassed, with mature trees.

3.2 Proposed Scheme

Planning permission is sought for the retention of a temporary 735m² ward building, measuring 36m by 20m and providing 36 bed spaces. The building is located in the garden area south of the existing wards, within the Harefield Hospital grounds. The building has inclusive access for those with impaired mobility via a temporary one level corridor directly linked to the Hospital's main block (Anzac Centre). The corridor has a maximum height of 2.7m, and the ward building is surrounded by a path on all sides, linking the building to the internal hospital road to the south of the south east main block. The building includes a double shallow pitched roof structure, which is 3.3m high at the eaves, rising to a maximum of 3.8m high at ridge level. The external building materials include plastisol walls in goose wing grey.

The Trust's requirement for this building is only as a temporary facility for an additional 2 years. Post this period it is anticipated that the Trust will have commenced work on its proposed new capital expenditure programme for the development of permanent new ward accommodation and other hospital facilities at Harefield. On cessation of this time period the ward and corridor will be removed and the land and elevations will be re-instated.

3.3 Relevant Planning History

9011/APP/2000/186 Harefield Hospital, Heart Science Centre Hill End Road Harefield
ERECTION OF A 1,246 SQ.M THREE STOREY EXTENSION TO THE HEART SCIENCES BUILDING (INVOLVING DEMOLITION OF EXISTING SINGLE STOREY BUILDING)

Decision: 16-08-2000 Approved

9011/APP/2000/1952 Harefield Hospital Hill End Road Harefield
AMENDMENTS TO THE DESIGN OF PLANNING PERMISSION REF.9011/APP/2000/905 DATED 10/07/00; ERECTION OF PATIENT SERVICES CENTRE AND NEW CAR PARKING AREA (INVOLVING DEMOLITION OF PART OF 'A' WARDS AND EXISTING PATIENT SERVICES CENTRE)

Decision: 14-11-2000 Approved

9011/APP/2000/664 Harefield Hospital Hill End Road Harefield
ERECTION OF A TWO STOREY MEDICAL/ RESEARCH, LIBRARY AND OFFICE BUILDING

Decision: 17-08-2000 ALT

9011/APP/2000/904 Harefield Hospital Hill End Road Harefield
DEMOLITION OF PROJECTING WING ON NORTHSIDE 'A' WARD BLOCK AND RE-FACING WITH RENDERED BLOCKWORK (APPLICATION FOR CONSERVATION AREA CONSENT)

Decision: 12-07-2000 Approved

9011/APP/2000/905 Harefield Hospital Hill End Road Harefield
ERECTION OF PATIENT SERVICES CENTRE AND NEW CAR PARKING AREA (INCLUDING DEMOLITION OF PART OF 'A' WARDS AND EXISTING PATIENT SERVICES CENTRE)

Decision: 10-07-2000 Approved

9011/APP/2001/1091 Harefield Hospital Hill End Road Harefield
ERECTION OF A TEMPORARY PORTAKABIN ADJACENT TO EXISTING TELEVISION STUDIO

Decision: 07-09-2001 ALT

9011/APP/2001/147 Harefield Hospital Hill End Road Harefield
ERECTION OF A NEW PATHOLOGY LABORATORY (INVOLVING DEMOLITION OF

EXISTING PATHOLOGY LABORATORY)

Decision: 25-07-2001 Approved

9011/APP/2001/148 Harefield Hospital Hill End Road Harefield

ERECTION OF 2 PORTACABINS FOR USE AS OFFICES FOR HEART SCIENCE CENTRE TO SOUTH OF 'A' WARDS AND NORTH OF HEART SCIENCE CENTRE AND INSTALLATION OF A GLAZED LINK

Decision: 05-11-2001 ALT

9011/APP/2002/1097 Harefield Hospital Hill End Road Harefield

ERECTION OF A NEW BUILDING TO CONTAIN TWO CARDIAC OPERATING THEATRES AND LINK TO EXISTING CARDIAC OPERATING DEPARTMENT

Decision: 10-07-2002 Approved

9011/APP/2002/1659 Harefield Hospital Hill End Road Harefield

CONSTRUCTION OF THREE ADDITIONAL CAR PARKING AREAS

Decision: 11-12-2002 Approved

9011/APP/2002/798 Harefield Hospital Hill End Road Harefield

VARIATION OF CONDITION 3 OF PLANNING PERMISSION REF.9011/APP/2001/2573 TO USE THE EXISTING TEMPORARY SINGLE STOREY BUILDING AS A RESPIRATORY AND PHYSIOLOGY DEPARTMENT AND OTHER CLINICAL USES

Decision: 30-08-2002 Approved

9011/APP/2006/2843 Harefield Hospital Hill End Road Harefield Middlesex

ERECTION OF A SINGLE-STOREY TEMPORARY WARD BUILDING WITH ACCESS LINK TO MAIN BUILDING

Decision: 07-12-2006 Approved

9011/APP/2007/1602 Harefield Hospital Hill End Road Harefield Middlesex

ERECTION OF A SINGLE STOREY OFFICE AND STORAGE BUILDING WITH ACCESS LINK TO THEATRE BUILDING.

Decision: 31-08-2007 Approved

9011/APP/2007/3536 Harefield Hospital Hill End Road Harefield

ERECTION OF A SINGLE STOREY BRICK CLAD BUILDING ADJACENT TO THE EXISTING OPERATING THEATRE BLOCK AND CONNECTING TO THE EXISTING ITU TO HOUSE A PLANT ROOM, SIX-BED RECOVERY ROOM WITH ASSOCIATED FACILITIES, STAFF REST AREA AND A KITCHENETTE ALONG WITH ACCESS LINKS TO BOTH THE ITU BUILDING

AND TO THE OPERATING THEATRES.

Decision: 10-01-2008 Approved

9011/APP/2008/1727 Harefield Hospital Hill End Road Harefield

ERECTION OF A SINGLE STOREY EXTENSION TO THE REAR OF THE CARDIAC THEATRES FOR USE AS STORAGE AND THE ERECTION OF A SINGLE STOREY STRUCTURE IN THE PARKING AREA, EAST OF THE ANZAC CENTRE FOR USE AS STORAGE FOR MEDICAL GASES INVOLVING THE REMOVAL OF THE EXISTING CONDENSER UNIT ENCLOSURE, AND CREATION OF 3 NEW PARKING SPACES.

Decision: 17-10-2008 Approved

9011/APP/2008/1934 Harefield Hospital Hill End Road Harefield

ERECTION OF AN ELECTRICAL SUBSTATION, EMERGENCY ELECTRICAL GENERATOR FACILITY AND FUEL STORAGE FACILITY (PART RETROSPECTIVE APPLICATION)

Decision: 26-09-2008 Approved

9011/APP/2008/3058 Harefield Hospital Hill End Road Harefield

ERECTION OF A STATUE IN THE GROUNDS OF HAREFIELD HOSPITAL

Decision: 26-11-2008 Approved

Comment on Relevant Planning History

The hospital site has an extensive planning history. Of particular note is the planning permission granted in 1990 for the establishment of a medically related research and business park on the former North Wards site. The Hillingdon Area Health Authority obtained planning consent in 1996 for a master plan which shows how future development needs across the site can be accommodated.

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

- | | |
|------|---|
| BE4 | New development within or on the fringes of conservation areas |
| BE10 | Proposals detrimental to the setting of a listed building |
| BE13 | New development must harmonise with the existing street scene. |
| BE15 | Alterations and extensions to existing buildings |
| BE38 | Retention of topographical and landscape features and provision of new planting |

	and landscaping in development proposals.
AM14	New development and car parking standards.
OL1	Green Belt - acceptable open land uses and restrictions on new development
OL2	Green Belt -landscaping improvements
OL3	OL3 Green Belt -
OL4	Green Belt - replacement or extension of buildings
OE12	Energy conservation and new development
LPP 4A.3	London Plan Policy 4A.3 - Sustainable Design and Construction.
PPG2	Green Belts
PPG15	Historic Environment

5. **Advertisement and Site Notice**

- 5.1 Advertisement Expiry Date:- **23rd February 2010**
- 5.2 Site Notice Expiry Date:- Not applicable

16th February 2010

6. Consultations

External Consultees

Harefield Village Conservation Panel - The Panel has no objection to the proposal

Ickenham Residents Association - No comments received

Harefield Tenants and Residents Association - No comments received

A site notice was displayed and no responses have been received.

Internal Consultees

Conservation Officer

This structure is located in the Harefield Village Conservation Area and within the Green Belt.

RECOMMENDATIONS: Whilst not ideal in terms of design and location, given the background to the application, there would be no objection to the retention of the ward for a further two years only.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

National policy guidance in relation to development within Green Belts is set out in PPG2 'Green Belts.' Advice contained in that document states that the fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open. This is to be achieved by resisting inappropriate development which by definition is harmful to the Green Belt.

Harefield Hosital is identified in the UDP as a major developed site within the Green Belt. As such, limited in-filling of the site, subject to certain criteria, is appropriate. Given the site's description, the retention of the temporary building for an activity directly related to the existing/current use of the site is considered acceptable, in compliance with Policy PR20 of the UDP (Saved Policies September 2007), subject to compatibility with the Harefield Village Conservation Area and Green Belt considerations.

7.02 Density of the proposed development

Not applicable to this application

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The application is within Harefield Village Conservation Area, and the Conservation and Urban Design officer considers that whilst not ideal in terms of design and location, the retention of the ward for a further two years only is acceptable. As such the proposal is considered to comply with the intensions of Policy BE4 of the UDP (Saved Policies September 2007).

7.04 Airport safeguarding

Not applicable to this application

7.05 Impact on the green belt

Policy OL1 defines the types of development that are considered acceptable within the Green Belt. The proposal at this Hospital does not conform to those types, however, this use is considered to be established on this site.

PPG2 states that the construction of new buildings inside a Green Belt is inappropriate unless it is for certain specified purposes. The proposal relates to the provision of a temporary extension to an existing hospital building and as such the use on this land is established. The guidance goes on to state that the visual amenities of the Green Belt should not be injured by proposals for developments which could be visually detrimental by reason of their siting, materials or design.

Policy OL4 states that the replacement or extension of buildings within the Green Belt will only be acceptable where they do not result in a disproportionate change in the bulk and character of the original buildings and the development would not injure the visual amenities of the Green Belt by reason of siting, design or activities generated.

The fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open. In terms of visibility, the application site is well screened and set back from public vantage points outside the hospital grounds. The development is largely contained within the existing built area of the hospital grounds and will be partially screened from longer views by the adjoining 3 storey built development to the north and east and by existing trees to the south and west. In the longer term it is not considered that the proposed development will adversely affect the openness of the Green Belt, given that it is temporary and it will be possible to reinstate the lawns and plant new trees to enhance the landscape of this part of the Hospital, thereby retaining the existing landscape setting.

Therefore the proposal is considered to comply with policies OL1 and OL4 of the UDP (Saved Policies September 2007) and advice set out in PPG2 - Green Belts.

7.06 Environmental Impact

Not applicable to this application

7.07 Impact on the character & appearance of the area

Due to the nature of its construction, the building is not considered acceptable as a permanent feature of the site. However, as the building is required for a further two year period, the development is considered acceptable, subject to conditions controlling its use and removal. As such, the proposal is considered to comply with policies BE13 and BE15 of the UDP (Saved Policies September 2007).

7.08 Impact on neighbours

Due to the proximity/distances of the proposal to nearest properties, it is not considered that the development will impact on any adjoining neighbours.

7.09 Living conditions for future occupiers

Not applicable to this application

7.10 Traffic impact, car/cycle parking, pedestrian safety

With regard to traffic impact, the layout plans show the existing parking and access arrangements to remain unchanged by the proposal and that adequate facilities would be still be provided. Therefore the proposal would be in accordance with Policy AM7 and AM14 of the UDP (Saved Policies September 2007).

7.11 Urban design, access and security

See Section 7.03

7.12 Disabled access

The current access arrangements would not be altered by this proposal. The application seeks to retain the existing temporary corridor link from the temporary ward building to the Hospital block and corridor to the Anzac Centre. The corridor is at one level giving ease of movement for patients with impaired mobility, including wheel chair access.

7.13 Provision of affordable & special needs housing

Not applicable to this application

7.14 Trees, Landscaping and Ecology

There are no material change of circumstances since the previous temporary approval in 2006, the development has not affected the adjacent trees and the proposal would not result in any further built development. As such, the proposal is considered to comply with policy BE38 of the UDP (Saved Policies September 2007).

7.15 Sustainable waste management

Not applicable to this application

7.16 Renewable energy / Sustainability

Not applicable to this application

7.17 Flooding or Drainage Issues

Not applicable to this application

7.18 Noise or Air Quality Issues

Not applicable to this application

7.19 Comments on Public Consultations

None

7.20 Planning Obligations

Not applicable to this application

7.21 Expediency of enforcement action

Not applicable to this application

7.22 Other Issues

None

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without

discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

Not applicable to this application

10. CONCLUSION

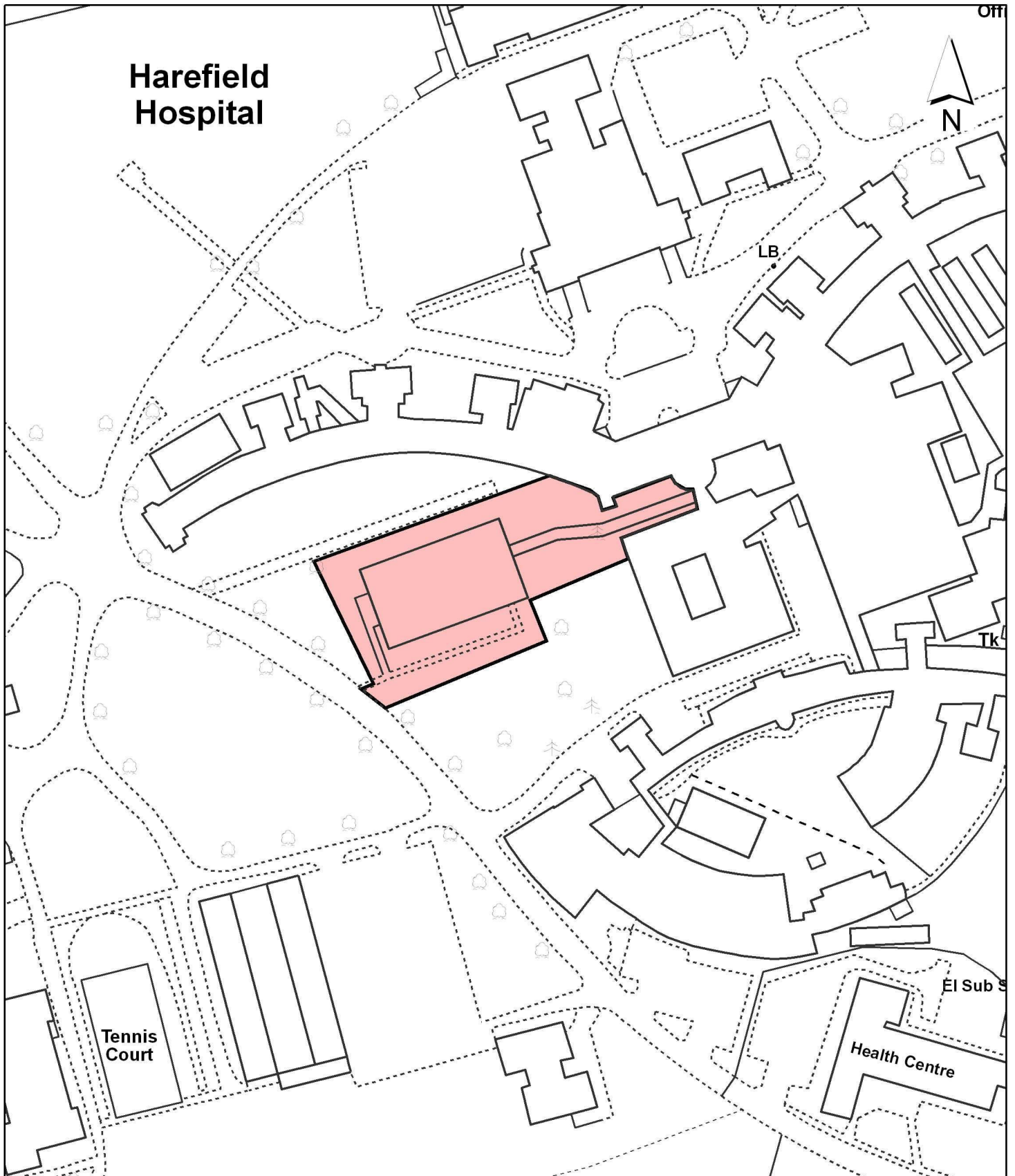
In summary, it is considered that given the need of the Hospital Trust to maintain the number of beds operated by the Hospital, the temporary ward structure is still required for a further 2 year period and this outweighs the short term harm to the character and appearance of the Harefield Village Conservation Area and to the openness of the Green Belt. As such, temporary approval is recommended, subject to conditions requiring the structure to be removed after 2 years and the submission and approval of a land restoration scheme.

11. Reference Documents

Hillingdon Unitary Development Plan Saved Policies September 2007
The London Plan (2008)
PPG2 - Green Belts

Contact Officer: Catherine Hems

Telephone No: 01895 250230



Harefield Hospital





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Tennis Court

Health Centre

<p>Notes</p> <p> Site boundary</p> <p>For identification purposes only.</p> <p>This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright.</p> <p>© Crown Copyright. All rights reserved. London Borough of Hillingdon 100019283 2009</p>	<p>Site Address</p> <p>Harefield Hospital, Hill End Road, Harefield</p>		<p>LONDON BOROUGH OF HILLINGDON</p> <p>Planning & Community Services</p> <p>Civic Centre, Uxbridge, Middx. UB8 1UW Telephone No.: Uxbridge 250111</p>	
	<p>Planning Application Ref:</p> <p>9011/APP/2009/2546</p>	<p>Scale</p> <p>1:1,250</p>	 <p>HILLINGDON LONDON</p>	
	<p>Planning Committee</p> <p>North Page 12</p>	<p>Date</p> <p>January 2010</p>		

Report of the Head of Planning & Enforcement

Address 94 GLEBE AVENUE ICKENHAM

Development: Change of use from Class A1 (Shops) to Class A2 (Financial and Professional Services.)

LBH Ref Nos: 54202/APP/2009/2171

Drawing Nos: 2582/2 Rev. A

Date Plans Received: 07/10/2009 **Date(s) of Amendment(s):**

Date Application Valid: 19/11/2009

1. SUMMARY

Planning permission is sought for the change of use from class A1 and A2. The proposal would not harm the character and function of the shopping parade and as such is recommended for approval.

2. RECOMMENDATION

APPROVAL subject to the following:

1 T8 Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 MCD10 Refuse Facilities

No development shall take place until details of facilities to be provided for the covered, appropriately sign posted, secure and screened storage of refuse at the premises have been submitted to and approved in writing by the Local Planning Authority. No part of the development shall be occupied until the facilities have been provided in accordance with the approved details and thereafter the facilities shall be permanently retained.

REASON

In order to safeguard the amenities of the area, in accordance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan (February 2008) Policy 4B.1.

3 OM1 Development in accordance with Approved Plans

The development shall not be carried out otherwise than in strict accordance with the plans hereby approved unless consent to any variation is first obtained in writing from the Local Planning Authority.

REASON

To ensure that the external appearance and impact of the development is satisfactory and complies with Policies BE13 and OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

4 NONSC Non Standard Condition

The premises shall not be used for deliveries and collections, including waste collections other than between the hours of 08:00 and 18:00, Mondays to Fridays, 08:00 to 13:00 Saturdays and not at all on Sundays and Bank and Public Holidays.

REASON

To safeguard the amenity of surrounding areas, in accordance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policy 4A.20 of the London Plan (February 2008).

5 H8 Surfacing and marking out of access/parking/servicing areas

The development shall not be occupied until the parking spaces shown on the approved plans have been drained, surfaced and marked out in accordance with details to be submitted to and approved in writing by the local planning authority. Thereafter these areas shall be permanently retained and used for no other purpose.

REASON

To ensure that the vehicular access, servicing and parking areas are satisfactorily laid out on site in accordance with Policy AM14 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 3C of the London Plan. (February 2008).

6 H14 Cycle Storage - details to be submitted

No part of the development hereby permitted shall be commenced until details of covered and secure cycle storage for users of and visitors to the development have been submitted to and approved in writing by the Local Planning Authority. Thereafter, the development shall not be occupied or brought into use until the approved cycling facilities have been implemented in accordance with the approved plan, with the facilities being permanently retained for use by cyclists.

REASON

To ensure the provision and retention of facilities for cyclists to the development and hence the availability of sustainable forms of transport to the site in accordance with Policy AM9 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 3C of the London Plan. (February 2008).

7 DIS2 Access to Buildings for People with Disabilities

Development shall not commence until details of access to building entrances (to include ramped/level approaches, signposting, types and dimensions of door width and lobby openings) to meet the needs of people with disabilities have been submitted to and approved in writing by the Local Planning Authority. The approved facilities should be provided prior to the occupation of the development and shall be permanently retained thereafter.

REASON

To ensure that people with disabilities have adequate access to the development in accordance with Policy AM13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan Policies (February 2008) Policies 3A.13, 3A.17 and 4B.5.

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

S6	Change of use of shops - safeguarding the amenities of shopping areas
S7	Change of use of shops in Parades
AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
LPP 2A.9	The Suburbs: supporting sustainable communities
LPP 4A.20	London Plan Policy 4A.20 - Reducing Noise and Enhancing Soundscapes

3 I1 Building to Approved Drawing

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

4 I3 Building Regulations - Demolition and Building Works

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

5 I6 Property Rights/Rights of Light

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

6 I15 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

7 I25 Consent for the Display of Adverts and Illuminated Signs

This permission does not authorise the display of advertisements or signs, separate consent for which may be required under the Town and Country Planning (Control of Advertisements) Regulations 1992. [To display an advertisement without the necessary consent is an offence that can lead to prosecution]. For further information and advice, contact - Planning & Community Services, 3N/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250574).

3. CONSIDERATIONS

3.1 Site and Locality

The application site is located on the west side of Glebe Avenue at its junction with Clovelly Avenue and comprises a recently constructed single storey retail unit forming the end of a terrace of 5 commercial units on the ground floor, four of which have residential accommodation above. To the north lies 94 Glebe Avenue and to the south lies Clovelly Avenue with 96 Glebe Avenue beyond. The street scene is residential in character and appearance comprising predominantly two storey semi-detached houses and the application site lies within the 'developed area' as identified in the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

3.2 Proposed Scheme

The unit has recently been constructed and remains vacant. Planning permission is sought for the change of use of the retail unit to a use within class A2. No external alterations are proposed.

3.3 Relevant Planning History

54202/APP/2004/1043 94 Glebe Avenue Ickenham

CONVERSION OF AN EXISTING RETAIL UNIT (CLASS A1) INTO TWO EQUAL SELF-CONTAINED UNITS, ONE FOR RETAIL (CLASS A1) AND THE OTHER FOR CLASS A2 (FINANCIAL AND PROFESSIONAL SERVICES) WITH A MODIFIED FRONTAGE

Decision: 13-07-2004 Refused

Appeal: 15-02-2005 Allowed

54202/APP/2008/1578 94 Glebe Avenue Ickenham

Single storey side extension for use as a Class A1 retail shop unit.

Decision: 28-07-2008 Approved

Comment on Relevant Planning History

As above.

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

- S6 Change of use of shops - safeguarding the amenities of shopping areas
- S7 Change of use of shops in Parades
- AM7 Consideration of traffic generated by proposed developments.
- AM14 New development and car parking standards.
- LPP 2A.9 The Suburbs: supporting sustainable communities
- LPP 4A.20 London Plan Policy 4A.20 - Reducing Noise and Enhancing Soundscapes

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

32 adjoining owner/occupiers and the Ickenham Residents' Association (x2) consulted. 1 letter of objection has been received making the following comments:-

- (i) There is little or no demand for A2 uses for a unit of this size.
- (ii) There is an underlying concern that this application will trigger an application for a class A5 use. Then seek to combine this unit with 94 Glebe Avenue.
- (iii) If approved, the applicant should be require to fulfil all the conditions of the previous permission (ref:54202/APP/2008/1578); that there is no further change of use without the unit reverting to and being used for class A1 for at least 3 years and the proposed use does not operate on Sundays and bank holidays.
- (iv) The applicant has not fully complied with conditions of the previous permission for an extension.

Internal Consultees

Highways:

The site is located on the north-western corner of the junction of Glebe Avenue and Clovelly Avenue.

Two off-street car parking bays are proposed for the proposed Class A2 (Financial and Professional Services), which accords with the Council's car parking requirements. The parking layout for 5 spaces was approved on a previous application reference 54202/APP/2008/1578, two of which would be allocated to this site. Customer parking can be accommodated on street in vicinity of the site.

The Council's minimum cycle parking standards stipulate a cycle parking requirement of approximately 2 spaces. This should be covered through a suitable planning condition.

There are no objections on the highways aspect of the proposals, subject to the conditions relating to surface water and cycle provision.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The application site forms part of a small parade of shops in Glebe Avenue. Local shopping parades serve an important role in providing convenience shopping that caters for the needs of local residents. Paragraph 8.22 and policy S7 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007) seeks to ensure that all residential areas are within half a mile of at least 5 essential shop uses, although not necessarily within the same parade. For some local shopping areas the closure of just one essential shop may be so significant as to precipitate the closure of other shops and the ultimate demise of the centre as a whole. The LPA seeks to protect vulnerable parades and corner shops which have a particularly important role for the local community and to provide opportunities for the establishment of new essential shop uses in existing class A1 premises. Ideally there should be no less than 3 (essential shops) in the smaller parades and a choice of essential shops in the larger parades.

The parade comprises the following uses:

90 Glebe Avenue - Vacant A1 unit

92 Glebe Avenue - Supermarket (A1)

94 Glebe Avenue - Converted into two separate units - One as a hair dresser (A1) the other as a vacant A1 unit.

The new building is an addition to the parade of shops and is yet to be included in the Annual Shopping survey. However, its loss to a non-retail use within class A2 would not harm the character and function of the parade as an essential use would be retained and the vacant units have the potential to provide essential retail uses, within the parade.

Given the above, it is considered that the level of essential shop uses is adequate to maintain the viability, character and function of the parade and would be sufficient to cater for the local convenience shopping needs of local residents. As such, the proposal would not harm the vitality and viability of the Glebe Avenue Parade in accordance with Policy S7 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007) and policy 2A.9 of the London Plan 2008 which seek to meet special retail needs and to encourage sustainable communities.

7.02 Density of the proposed development

This is not applicable to this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

This is not applicable to this application.

7.04 Airport safeguarding

This is not applicable to this application.

7.05 Impact on the green belt

This is not applicable to this application.

7.06 Environmental Impact

This is not applicable to this application.

7.07 Impact on the character & appearance of the area

No external alterations are proposed and therefore, the proposal would not have an adverse impact on the appearance of the street scene.

7.08 Impact on neighbours

In terms of assessing the effects of the proposal on residential amenity, the relevant factors are those of noise and disturbance. The nearest residential property lie above the adjoining unit at 94 Glebe Avenue. The proposed use is not considered to generate additional noise and disturbance over and above the current permitted use nor is it considered to be a use that would generate excessive noise or disturbance. Thus an hours of operation condition is not recommended. A condition requiring limitations on hours of deliveries, which may generate noise and impact on the occupiers of adjoining and nearby residential properties, is recommended. The proposal would therefore comply with policies OE1 and S6 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007) and 4A.20 of the London Plan 2008.

7.09 Living conditions for future occupiers

This is not applicable to this application.

7.10 Traffic impact, car/cycle parking, pedestrian safety

The Council's Parking Standards (Annex 1, adopted Hillingdon Unitary Development Plan (Saved Policies September 2007) requires 1 space per 25sqm for non-shop uses. This requirement is the same for shop uses. The previously approved scheme for the building incorporated 2 parking spaces to the rear. These spaces would now be for the proposed use. As such, the proposal would not result in an increase in demand for on-street parking and would comply with policies AM7(ii) and AM14 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007) and the Council's Parking Standards (Annex 1, adopted Hillingdon Unitary Development Plan, Saved Policies, September 2007).

7.11 Urban design, access and security

This is addressed at section 7.2

7.12 Disabled access

This is not applicable to this application.

7.13 Provision of affordable & special needs housing

This is not applicable to this application.

7.14 Trees, Landscaping and Ecology

This is not applicable to this application.

7.15 Sustainable waste management

This is not applicable to this application.

7.16 Renewable energy / Sustainability

This is not applicable to this application.

7.17 Flooding or Drainage Issues

This is not applicable to this application.

7.18 Noise or Air Quality Issues

This is not applicable to this application.

7.19 Comments on Public Consultations

With regards to the third party comments, point (i) This is not a factor which is relevant to the planning decision. There is also no factual evidence to support such an argument. On point (ii), planning permission will be required for the change of use to class A5 and such an application would be considered on its merits. On point (iii), it would be unreasonable to attach a planning condition to prevent any further change of use without the unit reverting to and being used for class A1 for at least 3 years and on point (iv) this is a matter for the enforcement section and is separate to the determination of this application.

7.20 Planning Obligations

This is not applicable to this application.

7.21 Expediency of enforcement action

This is not applicable to this application.

7.22 Other Issues

There are no other relevant issues.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

This is not applicable to this application.

10. CONCLUSION

The proposed change of use would not harm the character and function of the shopping parade which is to provide convenience shopping for local residents. Therefore, this application is recommended for approval.

11. Reference Documents

London Plan 2008

Adopted Hillingdon Unitary Development Plan (Saved Policies September 2007)

Contact Officer: Sonia Bowen

Telephone No: 01895 250230



Notes

 Site boundary

For identification purposes only.

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Site Address

**94 Glebe Avenue,
Ickenham**

**LONDON BOROUGH
OF HILLINGDON
Planning &
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:
54202/APP/2009/2171

Scale
1:1,250

Planning Committee
North Page 22

Date
January 2010



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement

Address 121 HERLWYN AVENUE RUISLIP

Development: Retention of part and demolition of part of unauthorised side and rear extension and change to roof profile

LBH Ref Nos: 65165/APP/2010/158

Drawing Nos: 4589-II
4589-III
4589-1 Rev. A
2 x A4 Photograph Sheets

Date Plans Received: 29/01/2010 **Date(s) of Amendment(s):** 17/02/2010

Date Application Valid: 29/01/2010

1. CONSIDERATIONS

1.1 Site and Locality

The application site forms a corner plot located on the north east side of Herlwyn Avenue at its junction with Roxburn Way and comprises a detached bungalow with an original projecting front gable and a detached garage in the rear garden, accessed by means of a shared drive with No.119 Herlwyn Avenue, a semi-detached bungalow to the north west. A single storey side and rear extension with a crown roof and projecting rooflights has been added, although its rendered walls have not been painted and a number of windows have not been installed. The roof of the bungalow has also been extended with a side and rear dormer and the garage has been extended at the side. A new boundary wall has also been part built on site. The property is currently vacant, with a number of window openings boarded up.

Adjoining the site at the rear is No.26 Roxburn Way, a semi-detached bungalow with a single storey side extension on the boundary and on the opposite corner of Roxburn Way is No.131 Herlwyn Avenue, a detached bungalow. The street scene is residential in character and appearance, predominantly comprising semi-detached bungalows and the application site lies within the 'developed area' as identified in the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

1.2 Proposed Scheme

This application seeks permission to alter the existing single storey side and rear extension that has been built on site by retaining the central 7.5m depth of the 3.0m wide side extension and increasing the overall height of the crown roof to 4m. The existing rooflights are shown to be removed. A 3.2m depth of the extension would be removed at the front, so that the side extension would align with the recessed front elevation of the original bungalow and the rearmost 3.0m depth of the side/rear extension would also be removed, so that the side extension would align with the original rear wall of the bungalow, separating the side and rear extensions.

The retained part of the rear extension would have a maximum depth of 3.5m reducing to

3.0m on the original rear projecting part of the rear elevation of the bungalow on the side adjoining Roxburn Way. The extension would have a width of 6.75m and overall height of 3.2m to the top of the retained crown roof.

1.3 Relevant Planning History

Comment on Planning History

Application ref. 65165/APP/2008/2923 for the erection of a single storey side and rear extension was withdrawn on the 13th January 2009. Following the substantial completion of a single storey side and rear extension, an enforcement notice was issued on the 25th February 2009. An appeal against the enforcement notice was dismissed on 8th January 2010

A certificate of lawfulness for a proposed single storey front extension on the other side of the projecting gable was refused on the 28th August 2009 (ref. 65165/APP/2009/1185) and an appeal was subsequently dismissed on the 8th January 2010.

2. Advertisement and Site Notice

2.1 Advertisement Expiry Date:- 2nd March 2010

2.2 Site Notice Expiry Date:- Not applicable

3. Comments on Public Consultations

Original Plans

71 neighbouring properties consulted and a site notice displayed. 8 objection responses (2 from same property) have been received, making the following comments:

(i) Although demolition of front and rear sections would to some extent, mitigate appearance of the side extension's overly dominant bulk, the increase in height of the pitched roof area, with its flat roof area and retention of the prominent dormer extension means that aesthetically, there is no change to building that has been erected on site and the changes to the shape and size of the original bungalow result in a detrimental effect on the appearance of the property, contrary to policies BE13 and BE19 and detracts from surrounding properties and neighbourhood, as massing and proportions are out of scale, contrary to policy BE21;

(ii) Size of extension changes bungalow to a house, which does not harmonise with this area of bungalows on this small, very exposed corner plot. Application should be refused unless roof is returned to its original shape and use and the side extension used for living purposes or as a garage;

(iii) Applicant has written to everyone in the street, claiming to be badly off, trying to gain sympathy. She claims builders never consulted her on the plans;

(iv) Dormer windows overlook adjoining bedroom windows;

(v) Once precedent has been set, greater chance of similar applications being approved;

(vi) Interests of residents should take priority;

(vii) Have been advised that planning department is now giving advice to the developers regarding application. To avoid accusations of complicity, or worse, this should cease immediately;

(viii) This application should not even be entertained, given enforcement notice which has been upheld by Planning Inspectorate in their decision letter dated 8th January 2010 and the Council has no discretion to extend the 3 month period for compliance;

(ix) Alterations to garage, with possible change of use and additional structure at the rear,

are not shown on the drawing;

(x) No works have yet been commenced to comply with the notice or this application;

(xi) Although internal arrangements are not known, fairly obvious that this is not a family residence but a business premises, which would be out of keeping with the area and exacerbate parking problems;

(xii) On-going saga gives the impression that applicant has intimate knowledge of how the planning department operates.

2 responses of support stating that no objections are raised, providing the applicant carries out the alterations proposed and the building work is made good to Council regulations.

Officer Comments

Points (i) and (ii) have been dealt with in the main report. Points (iii), (x), (xii) and (xiii) are noted. As regards point (iv) the dormer extension does not form part of this application and this roof extension constitutes permitted development. In terms of points (v) and (vi), all applications have to be assessed on their own individual merits. It is an integral function of planning departments to provide impartial advice concerning development within their areas (Point (vii)). As regards point (viii), planning departments have to determine valid planning applications providing the scheme is not identical to a previous proposal that has recently been considered and dismissed on appeal. An informative advising the applicants of the extant enforcement notice is attached. The extension of the garage itself constitutes permitted development (Point ix). As regards Point (x), this proposal is for an extension to a residential property.

Ruislip Residents' Association: No response received.

Amended Plans

71 neighbouring properties re-consulted, together with the Ruislip Residents' Association and the 3 Ward Councillors. No responses have been received.

4. UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.10 To seek to ensure that development does not adversely affect the amenity and the character of the area.

Part 2 Policies:

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE19 New development must improve or complement the character of the area.

BE20 Daylight and sunlight considerations.

BE21 Siting, bulk and proximity of new buildings/extensions.

BE23 Requires the provision of adequate amenity space.

BE24 Requires new development to ensure adequate levels of privacy to

	neighbours.
AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
HDAS	Residential Extensions
LPP 4A.3	London Plan Policy 4A.3 - Sustainable Design and Construction.
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures

5. MAIN PLANNING ISSUES

This application is only considering the single storey side/rear extension. The dormer extension to the roof and the garage extension, notwithstanding its possible future use (although the Local Planning Authority has been led to believe that this would be a study/office), constitute permitted development. A boundary wall has also been commenced on site and this would require permission as part of it exceeds 1m in height adjoining the highway. An informative has been added advising of this.

Policies BE13, BE15 and BE19 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) seek to ensure that development respects the character and appearance of the street scene and the residential area and extensions to existing buildings should harmonise with the scale, form, architectural composition and proportions of the original building.

The Inspector in considering the application deemed to have been made as part of the appeal against the enforcement notice noted that the character and appearance of the estate is derived mainly from the fairly regular arrangement of hipped roofed, modestly sized bungalows. Although it was noted that several bungalows had been altered or enlarged over time, most had retained their distinctive architectural style and proportions. The Inspector considered the application property to be the exception, in that it had undergone a number of unsympathetic additions, alterations and enlargements, including a prominent dormer extension. Collectively, the Inspector considered that the changes to the bungalow's shape and size had resulted in the erosion of its character and appearance and that of the surrounding area. The Inspector went on to say that the unauthorised extensions, with their extensive areas of flat roof, are out of scale with the original building and thus compound the harm. Furthermore, being prominently located on a corner plot, they appear discordant, overly dominant and intrusive in the street scene. The Inspector refused to grant planning permission and in considering the steps that needed to be taken to mitigate the harm of the extension, considered that without an alternative scheme before him, the complete removal of the extension was necessary.

This scheme now amends the extension considered by the Inspector by reducing the overall depth of the side extension from 13.7m to 7.5m, by removing its front and rear corner sections. The height of the crown roof has been increased to 4.0m.

The proposed revisions significantly alter the bulk and shape of the side extension. Importantly, by setting back the front elevation of the side extension by 3.2m from the projecting front gable, the extension would appear more subordinate to the original bungalow and less dominant in the street scene. Such a set back would ensure that the front elevation of the extension would not project any further forward than the main bulk of the original bungalow and would now retain the shape and proportion of the projecting front gable feature, including its roof. Furthermore, design guidance in paragraph 4.5 of

the Council's HDAS: 'Residential Extensions' advises that in order for side extensions not to appear too dominant and out of scale with the existing property, they should not exceed the width of the property by more than half to two-thirds the width of the original property. The existing side extension is less than half the width of the original bungalow.

The 3.0m deep set back of the side extension at the rear would effectively remove the 'wrap around' element and separate the side and rear elements of the extension to give a more traditional appearance. This would further reduce the overall bulk of the retained side extension and would greatly reduce the area of flat roof.

The raising of the height of the crown roof would also give the extension better proportion, with a roof that would have a more traditional appearance and presence and also helps to reduce further the area of flat roof. Although the roof would still be a crown roof with an area of flat roof that would clearly be discernible in the street scene, the overall area of flat roof would be greatly reduced and it is considered that a reason for refusal on this ground alone, could not be justified. A small element of flat roof has been incorporated at the rear of the extension but this is at eaves level and reflects the original design of the bungalow.

Design guidance advises of the need to respect building and return building lines, but in this instance, given the bend on Roxburn Way outside Nos.22 and 24, there is no defined return building line. The side extension retains a 3.4m gap to the side boundary on Roxburn Way at its nearest point. This is comparable to the gap that has been retained to the side boundary with a single storey extension at No. 131 Herlwyn Avenue. It is considered that this gap maintains the open character of the plot and the street scene, where semi-detached properties are typically separated by shared drives.

As regards the retained part of the rear extension, this would have a maximum depth of 3.5m reducing to 3.0m on the original rear projecting part of the rear elevation of the original bungalow on the side adjoining Roxburn Way. The extension would have a width of 6.75m and overall height of 3.2m to the top of the retained crown roof. The flank wall of the rear extension facing Roxburn Way would now align with the flank wall of the original bungalow. The removal of the 'wrap around' element would separate the side from the rear extensions. The rear extension, although it would still be visible within the street scene, would be far less prominent and mainly viewed against the back drop of existing bungalows. The Council's SPD HDAS: 'Residential Extensions' advises at paragraph 3.4 that rear extensions to detached properties are acceptable up to 4.0m deep. At paragraph 3.7, the guidance also advises that a range of flat and pitched roofs are acceptable on rear extensions, including dummy pitched roofs, providing the roof does not exceed 3.4m in height. The rear extension is therefore fully compliant with the SPD. Furthermore, being separated from the side extension, the rear extension could now be re-built as permitted development.

As such, it is considered that the revised proposal would harmonise with the scale, design and architectural proportions of the bungalow and would not be unduly detrimental to the visual amenities of the street scene. It is considered that the amended scheme overcomes the Inspector's concerns and now complies with policies BE13, BE15 and BE19 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and the Council's relevant SPD.

As regards the impact upon surrounding residential occupiers, the single storey side extension is sufficiently remote from adjoining residential site boundaries so that the residential amenities of adjoining occupiers would not be adversely affected by means of

loss of sunlight and/or dominance. The rear extension also immediately abuts the shared drive between this and the adjoining property, No.119 Herlwyn Avenue and with a depth of 3.5m, this separation is sufficient to ensure that the extension would not breach any 45° line of sight from any rear facing habitable room window. No.119 does have a main ground floor habitable room window in its flank elevation facing the application property, but this window faces the main flank elevation of the property so that the rear extension, being recessed by 1.3m from this main flank elevation, would not appear unduly prominent as an oblique angle. As regards the potential for loss of privacy, the windows in the side and rear extensions would either overlook the rear garden of the application site or the face the road frontages of the site. As such, their use would not involve any greater loss of privacy as compared to the existing situation. Conditions have been attached to ensure that no additional side windows facing No.119 Herlwyn Avenue are installed and the roof areas of the extensions are not used as a balcony/roof garden.

The side and rear extensions would provide adequate living accommodation for future occupiers of the property with the proposed habitable rooms having adequate outlook and natural lighting. The rear garden space also provides approximately 84m² of private amenity space with over 30m² of additional space at the side of the bungalow, behind its front elevation that has the potential to be made private. As such, the scheme satisfies the minimum 60m² requirement for three bedroom properties. As such, the proposal complies with policies BE20, BE21, BE23 and BE24 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and relevant design guidance.

A condition has been attached, requiring the submission of details for the replacement of the off-street car parking space which has been lost on site as a result of the works to the garage. As such, the proposal would satisfy policy AM14 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

6. **RECOMMENDATION**

APPROVAL subject to the following:

1 T8 Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 M2 External surfaces to match existing building

The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing building.

REASON

To safeguard the visual amenities of the area and to ensure that the proposed development does not have an adverse effect upon the appearance of the existing building in accordance with Policy BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

3 OM1 Development in accordance with Approved Plans

The development shall not be carried out otherwise than in strict accordance with the plans hereby approved unless consent to any variation is first obtained in writing from the Local Planning Authority.

REASON

To ensure that the external appearance of the development is satisfactory and complies with Policy BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

4 RPD1 No Additional Windows or Doors

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the walls or roof slopes of the development hereby approved facing 119 Herlwyn Avenue.

REASON

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

5 RPD4 Prevention of Balconies/Roof Gardens

The roof areas of the extensions hereby permitted shall not be used as a balcony, roof garden or similar amenity area.

REASON

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

6 NONSC Non Standard Condition

Notwithstanding the details shown on Drw. No. 4589-1 Rev. A, within one month of the date of this permission, details of a replacement off-street car parking space shall be submitted to and approved in writing by the Local Planning Authority. The space shall be constructed prior to the occupation of the development, using a porous material unless otherwise agreed in writing by the Local Planning Authority. The space shall thereafter be permanently retained.

REASON

To ensure that adequate off-street car parking is provided, in accordance with policy AM14 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and to ensure the development does not increase the risk of flooding contrary to Policy OE8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007), polices 4A.12 and 4A.13 of the London Plan (February 2008).

INFORMATIVES

- 1** You are advised that the boundary wall that has been part built on site also requires planning permission.
- 2** The applicant is advised that there is an extant enforcement notice on this site which has a final compliance date of the 8th April 2010.

Standard Informatives

- 1 The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

- 2 The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, and to all relevant material considerations, including Supplementary Planning Guidance:

Policy No.

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
HDAS	Residential Extensions
LPP 4A.3	London Plan Policy 4A.3 - Sustainable Design and Construction.
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures

- 3 You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

- 4 You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

- 5 Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings,

installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

- 6 You have been granted planning permission to build a residential extension. When undertaking demolition and/or building work, please be considerate to your neighbours and do not undertake work in the early morning or late at night or at any time on Sundays or Bank Holidays. Furthermore, please ensure that all vehicles associated with the construction of the development hereby approved are properly washed and cleaned to prevent the passage of mud and dirt onto the adjoining highway. You are advised that the Council does have formal powers to control noise and nuisance under The Control of Pollution Act 1974, the Clean Air Acts and other relevant legislation. For further information and advice, please contact - Environmental Protection Unit, 4W/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250190).

- 7 The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:
 - carry out work to an existing party wall;
 - build on the boundary with a neighbouring property;
 - in some circumstances, carry out groundworks within 6 metres of an adjoining building.Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning & Community Services Reception Desk, Level 3, Civic Centre, Uxbridge, UB8 1UW.

- 8 Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

- 9 Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -
 - A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.


- 10 You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or adequately clear it away could result in action being taken under the Highways Act.
- 11 To promote the development of sustainable building design and construction methods, you are encouraged to investigate the use of renewable energy resources which do not produce any extra carbon dioxide (CO₂) emissions, including solar, geothermal and fuel cell systems, and use of high quality insulation.
- 12 You are advised that care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense. For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

Contact Officer: Richard Phillips

Telephone No: 01895 250230



Notes

 Site boundary
For identification purposes only.

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London Borough of Hillingdon
100019283 2009

Site Address	
121 Herlwyn Avenue, Ruislip	
Planning Application Ref:	Scale
65165/APP/2010/158	1:1,250
Planning Committee	Date
North Page 33	January 2010

**LONDON BOROUGH
OF HILLINGDON**

**Planning &
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

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Report of the Head of Planning & Enforcement

Address GIRL GUIDING, WILLOW TREE CENTRE BREAKSPEAR ROAD NORTH HAREFIELD

Development: Replacement of extant planning permission ref. 50910/APP/2006/2991, dated 03-04-2007 (Erection of two single storey detached buildings for (i) training for adult youth leaders and young people including those with special needs and (ii) maintenance shed for mechanical equipment (health and safety requirements) and provision of two additional disabled car parking spaces for people with disabilities

LBH Ref Nos: 50910/APP/2010/152

Drawing Nos: Drw. No. 1
Drw. No. 2A
Drw. No. 3
Drw. No. 4
Additional information received under covering letter dated 1/3/07
A4 photograph sheet
Drw. No. 5A
Drw. No. 6
Letter dated 19/11/07

Date Plans Received: 20/01/2010 **Date(s) of Amendment(s):**
Date Application Valid: 04/02/2010

1. SUMMARY

This application seeks to renew an extant planning permission to erect two detached buildings in the Green Belt and install two disabled parking spaces in connection with the use of the site as a girl guides camp site and outdoor activity centre with associated training facilities. The proposal was originally considered to represent appropriate development within the Green Belt, given the main use of the site for outdoor recreation and the proposed buildings would be sensitively located and suitably designed, using appropriate materials to reflect the rural setting. No surrounding residential properties would be adversely affected and highway safety would not be prejudiced. There has been no change in circumstances on site or material changes to policy and design guidance to suggest that the buildings would no longer be appropriate. This application only differs from the previous application in that now all the details have been included that were approved under application ref. 50910/APP/2008/58. The application is therefore recommended for approval.

2. RECOMMENDATION

APPROVAL subject to the following:

1 T8 Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 OM1 Development in accordance with Approved Plans

The development shall not be carried out otherwise than in strict accordance with the plans hereby approved unless consent to any variation is first obtained in writing from the Local Planning Authority.

REASON

To ensure that the external appearance of the development is satisfactory and complies with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

3 OM19 Construction Management Plan

Prior to development commencing, the applicant shall submit a construction management plan to the Local Planning Authority for its approval. The plan shall detail:

- (i) The phasing of development works
- (ii) The hours during which development works will occur (please refer to informative I15 for maximum permitted working hours).
- (iii) A programme to demonstrate that the most valuable or potentially contaminating materials and fittings can be removed safely and intact for later re-use or processing.
- (iv) Measures to prevent mud and dirt tracking onto footways and adjoining roads (including wheel washing facilities).
- (v) Traffic management and access arrangements (vehicular and pedestrian) and parking provisions for contractors during the development process (including measures to reduce the numbers of construction vehicles accessing the site during peak hours).
- (vi) Measures to reduce the impact of the development on local air quality and dust through minimising emissions throughout the demolition and construction process.
- (vii) The storage of construction materials on site.

The approved details shall be implemented and maintained throughout the duration of the demolition and construction process.

REASON

To safeguard the amenity of surrounding areas in accordance with Policy OE1 of the Hillingdon Unitary Development Plan (Saved Policies 2007).

4 TL2 Trees to be retained

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority.

If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'. Remedial work should be carried out to BS 3998 (1989) 'Recommendations for Tree Work' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work

shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and to comply with Section 197 of the Town and Country Planning Act 1990.

5 TL6 Landscaping Scheme - implementation

All hard and soft landscaping shall be carried out in accordance with the approved landscaping scheme and shall be completed within the first planting and seeding seasons following the completion of the development or the occupation of the buildings, whichever is the earlier period.

The new planting and landscape operations should comply with the requirements specified in BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs' and in BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. Thereafter, the areas of hard and soft landscaping shall be permanently retained.

Any tree, shrub or area of turfing or seeding shown on the approved landscaping scheme which within a period of 5 years from the completion of development dies, is removed or in the opinion of the Local Planning Authority becomes seriously damaged or diseased shall be replaced in the same place in the next planting season with another such tree, shrub or area of turfing or seeding of similar size and species unless the Local Planning Authority first gives written consent to any variation.

REASON

To ensure that the landscaped areas are laid out and retained in accordance with the approved plans in order to preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

6 DIS1 Facilities for People with Disabilities

All the facilities designed specifically to meet the needs of people with disabilities that are shown on the approved plans shall be provided prior to the occupation of the development and thereafter permanently retained.

REASON

To ensure that adequate facilities are provided for people with disabilities in accordance with Policy AM13/R16 [refer to the relevant policy/ies] of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan (February 2008) Policies 3A.13, 3A.17 and 4B.5.

3. CONSIDERATIONS

3.1 Site and Locality

The application site lies on the east side of Breakspear Road North and comprises a number of isolated detached single storey buildings/shelters and obstacle course equipment on a 6.07 hectare site in use as a girl guides' camp site, with outdoor activities and ancillary training. The facility is also used by youth organisations and schools with

special needs. The main building is set back some 27m from the road, separated by the existing gravelled access/parking area providing 40 parking spaces. The access to the site is from Breakspear Road North, some 55m to the south of the main building. The site is mainly surrounded by open fields, with a scouts' camp site and Mad Bess Wood to the north. The site forms part of the Green Belt.

3.2 Proposed Scheme

The proposal is to renew an extant planning permission for the erection of two detached buildings. The larger 'training' building would be located some 22.5m to the east of the main building on site. It would have a barn type design with a Dutch barn roof reflecting the design of the existing building. Six roof lights, three on each side are proposed in the roof. It would be 25.7m long, 8m wide, 2.4m high to the eaves and 5.8m high to the ridge. It would provide training facilities for the camp.

The smaller 'maintenance' building would be located 10m to the north of the proposed training building. It would also have a barn type design with a Dutch barn roof with two roof lights on one side and two solar panels on the other. It would be 18.5m long, 6.2m wide with the same ridge height of 5.8m but with a lower eaves height on the western elevation of 1.7m as compared to the 2.7m eaves height on the eastern elevation. This building would be a maintenance shed. The buildings would have timber boarding and tiled roofs to match the existing building.

The applicants state that this Centre is the only one of its kind in the Borough where volunteer trained leaders teach life skills to the young. Camping and outdoor activities form the major part of that training, together with associated theory. The Centre was opened in 1997 and is used by about 4000 youngsters from the Borough alone. There is currently only one room in the Centre for indoor activities, whereas several groups will use the Centre at the same time. This room therefore has to double as the activity room, used by brownie and guide groups and for meals etc, so when the Centre is full, it cannot accommodate those using the field who also need indoor facilities. More specifically, Training Room 1 would be used for teaching leaders and youngsters to prepare food, learn about hygiene, theory of archery instruction, camping, conservation, walking in safety, pioneering, orienteering, map reading, recycling, etc all being ancillary to the outdoor activities. Training Room 2 would be used for 'hands-on' teaching and life skills for the young and adult volunteers. This will benefit those using the outside facilities but who also need a room as part of that activity. For example, students involved with key stages 1 and 2 science need an outside venue to study the seasons, flora and fauna, explorations in sight, smell; geography stages 1 and 2 including fieldwork investigation and map making; art and design includes observational drawing and pictures/collages using natural objects, PE requires use of assault courses, orienteering, trails and use of other equipment. In addition, our own organisation uses activities that include making things connected with the outdoors. A maintenance garage has also become a necessity to protect expensive equipment and due to more demanding health, safety and fire regulations, separate service facilities are required for the volunteer ground crew needed to maintain a 15 acre site.

This application also includes all the details that were required to be submitted as part of the original application, that were subsequently approved on the 3rd April 2008 (ref. 50910/APP/2008/58).

3.3 Relevant Planning History

Comment on Relevant Planning History

50910/APP/2008/58 - Details of materials, colours and finishes, survey plan, tree protection, landscape scheme, landscape maintenance, cycle parking, building access and parking provision for wheelchair disabled people in compliance with condition 2, 4, 6, 7, 9, 12 and 13 of planning permission ref. 50910/APP/2006/2991 - Approved 3rd April 2008

50910/APP/2006/2991 - Erection of two single storey detached buildings for (i) training for adult youth leaders and young people including those with special needs and (ii) maintenance shed for mechanical equipment (health and safety requirements) and provision of two additional disabled car parking spaces for people with disabilities - Approved 3rd April 2007.

50910/96/674 - Proposed Guide campsite and training centre including erection of pack holiday home, service block, two barn shelters and provision of vehicular access and parking area - Approved 12th March 1997.

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

- PT1.1 To maintain the Green Belt for uses which preserve or enhance the open nature of the area.
- PT1.31 To encourage the development and support the retention of a wide range of local services, including shops and community facilities, which are easily accessible to all, including people with disabilities or other mobility handicaps.

Part 2 Policies:

- PPG2 Green Belts
- OL1 Green Belt - acceptable open land uses and restrictions on new development
- OL2 Green Belt -landscaping improvements
- OL19 Access to and use of the countryside by all sections of the community
- BE13 New development must harmonise with the existing street scene.
- BE20 Daylight and sunlight considerations.
- BE21 Siting, bulk and proximity of new buildings/extensions.
- BE24 Requires new development to ensure adequate levels of privacy to neighbours.
- BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
- OE1 Protection of the character and amenities of surrounding properties and the local area
- AM7 Consideration of traffic generated by proposed developments.
- AM14 New development and car parking standards.
- AM15 Provision of reserved parking spaces for disabled persons

SPD Accessible Hillingdon Supplementary Planning Document, January 2010.
LPP London Plan (February 2008)

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **5th March 2010**

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

Willow Tree Farm on the opposite side of the road has been consulted and a notice has been displayed on site. No responses have been received.

Ward Councillor: No comments received.

Harefield Tenants and Residents' Association: No comments received.

Ickenham Residents' Association: No comments received.

Internal Consultees

Trees/Landscape Officer: Comments on the original application were as follows:

Trees on and close to the site are not protected by TPO or Conservation Area designation. However, the site lies within the Green Belt and the development should seek to enhance this status.

According to information on the site plan (and a view of the aerial photographs) there are trees, or a hedgerow, close to the proposed building on the west field boundary (closest to Breakspear Road North).

No objection subject to conditions TL1, TL2, TL3, TL5, TL6 and TL7.

Officers Comments: The conditions originally requested were attached to the permission granted in April 2007 and details relating to tree protection, landscape scheme and landscape maintenance were approved in April 2008. These details form part of the current application and thus conditions requesting details on these issues are not recommended in relation to this application.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The application is located within the Green Belt. PPG2 (Green Belts) states that the most important attribute of the Green Belt is its openness. Therefore, the construction of new buildings in the Green Belt is inappropriate unless it is for the following purposes:

- * Agriculture and forestry,
- * Essential facilities for outdoor sport and recreation; for cemeteries; and for other uses of land which preserve the openness of the Green Belt;
- * Limited extension, alteration or replacement of existing buildings;
- * Limited infilling in existing villages and limited affordable housing for local community needs under development plan policies according with PPG3
- * Limited infilling or redevelopment of major developed sites identified in adopted

development plans which meet the criteria specified in Annex C of PPG2.

It was previously considered that the intended use of the training building and maintenance shed would be ancillary to the overall use of the site and therefore an appropriate use within the Green Belt in terms of PPG2 and policy OL1 of the UDP. There has been no change in circumstances on site and/or policy guidance to suggest that such an assessment is no longer valid.

7.02 Density of the proposed development

N/A to this application for community facilities.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

N/A to this application.

7.04 Airport safeguarding

This application does not raise any concerns as regards airport safeguarding.

7.05 Impact on the green belt

It was previously considered that the proposed training building would be ancillary to the main use of the site and the maintenance shed was an essential use to allow the locking up of machinery and provide service facilities for ground staff associated with the main use of the site for outdoor recreation.

The cumulative impact of the resultant buildings was not considered to represent a significant reduction in the openness and visual amenities of the Green Belt as the existing and proposed buildings would amount to 0.08 hectares of built form within a 6.07 hectare site. The siting of the buildings, whilst extending the built form northwards, parallel to Breakspear Road North within the site, would be viewed against the Willow Tree Farm buildings on the opposite side of the road and its hedgerow from the east, while the hedgerow would also largely screen the single storey buildings from the road.

The barn type design of the buildings was considered to relate satisfactorily to the rural surroundings, using traditional materials of timber boarding and roof tiles to match the existing buildings. The six rooflights, three on each side of the training building would appear subordinate in the roof. The two roof lights and two solar panels sited on the maintenance shed roof are also sufficiently small scale so as not to appear unduly conspicuous within the roof.

There has been no change to suggest that such an assessment is no longer appropriate. The proposal complies with PPG2 and policy OL1 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

7.06 Environmental Impact

The buildings would be sited some distance Mad Bess and Bayhurst Woods and therefore unlikely to impact upon the ecological interest of these sites.

7.07 Impact on the character & appearance of the area

This has been dealt with at Section 7.05 above.

7.08 Impact on neighbours

The training centre building would be over 50m away from the Willow Tree Farmhouse with the maintenance building some 30m away. These distances, together with the screening provided by roadside hedgerows, would protect the amenities of the farm from overdominance, visual intrusion, overshadowing and overlooking. The potential for the increase in noise would also not arise, given the use of the site and the indoor activities proposed. The proposal complies with policies BE20, BE21, BE24 and OE1 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

7.09 Living conditions for future occupiers

N/A to this application.

7.10 Traffic impact, car/cycle parking, pedestrian safety

The proposal would not alter the existing parking arrangements on site. There is no objection in providing two additional disabled car parking spaces sited outside the buildings.

7.11 Urban design, access and security

This has been dealt with in Section 7.05 above.

7.12 Disabled access

The application makes appropriate provision for access and use by disabled persons.

7.13 Provision of affordable & special needs housing

N/A to this application.

7.14 Trees, Landscaping and Ecology

Conditions have been added to ensure that existing trees are safeguarded and a landscaping scheme is implemented to assist with the assimilation of the buildings into the landscape, as advised by the Tree/Landscape Officer and in accordance with policy BE38 of the UDP Saved Policies (September 2007).

7.15 Sustainable waste management

Foul drainage would be to the existing bio system on site.

7.16 Renewable energy / Sustainability

It is considered that given their intended use, the energy consumption of the buildings would not be significant. The training and maintenance buildings, with their use of roof lights and openings, would have adequate daylight. Two solar panels are also proposed on the maintenance building shed.

7.17 Flooding or Drainage Issues

No flooding concerns are raised by this application.

7.18 Noise or Air Quality Issues

N/A to this application.

7.19 Comments on Public Consultations

No comments have been received.

7.20 Planning Obligations

N/A to this application for community facilities.

7.21 Expediency of enforcement action

N/A to this application.

7.22 Other Issues

N/A to this application.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The

specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

N/A to this application.

10. CONCLUSION

There has been no change in site circumstances and/or policy guidance since April 2007 to suggest that the two buildings and formation of two disabled parking spaces in connection with the girl guides' camp and outdoor activity centre in the Green Belt would no longer be appropriate. No objections are raised to the renewal of this permission.

11. Reference Documents

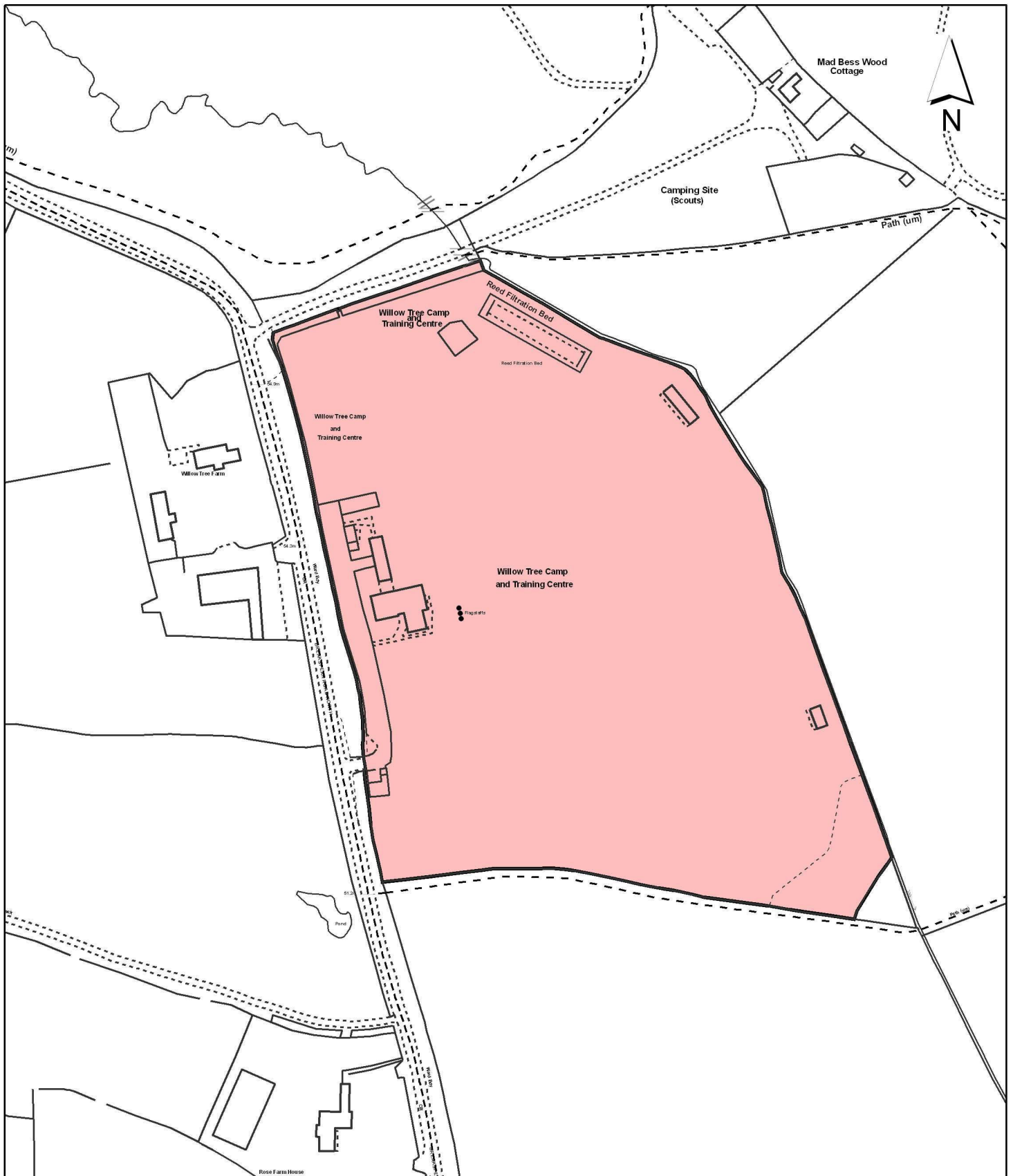
PPG2: Green Belts



London Plan (February 2008)

Adopted Unitary Development Plan Saved Policies (September 2008)

Contact Officer: Richard Phillips

Telephone No: 01895 250230



<p>Notes</p> <p> Site boundary</p> <p>For identification purposes only.</p> <p>This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright.</p> <p>© Crown Copyright. All rights reserved. London Borough of Hillingdon 100019283 2009</p>	<p>Site Address</p> <p>Girl Guiding, Willow Tree Centre, Breakspear Road North, Harefield</p>		<p>LONDON BOROUGH OF HILLINGDON</p> <p>Planning & Community Services</p> <p>Civic Centre, Uxbridge, Middx. UB8 1UW Telephone No.: Uxbridge 250111</p>
	<p>Planning Application Ref:</p> <p>50910/APP/2010/152</p>	<p>Scale</p> <p>1:2,500</p>	 <p>HILLINGDON LONDON</p>
	<p>Planning Committee</p> <p>North Page 44</p>	<p>Date</p> <p>January 2010</p>	

Report of the Director of Planning & Community Services Group

Address 56 MANOR WAY RUISLIP

Development: Boundary wall to side and rear (Retrospective application.)

LBH Ref Nos: 19650/APP/2009/2604

Drawing Nos: 2738/01 Rev. A
Design and Access Statement
Location Plan at scale 1:1250

Date Plans Received: 02/12/2009 **Date(s) of Amendment(s):**

Date Application Valid: 21/12/2009

1. CONSIDERATIONS

1.1 Site and Locality

The application site comprises the side boundary brick wall to No.56 Manor Way which is situated at the corner of Manor Way and Manor Close and has a south west facing rear garden. The site is situated within the Ruislip Manor Conservation Area and a developed area as identified in the policies of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

1.2 Proposed Scheme

The application seeks planning permission to retain an existing brick wall, partially topped with trellis, running along the Manor Close boundary and a part rendered section continuing along the return boundary with No.12 Manor Close. The wall is approximately 23.9m (l) with a 6m (d) return along the boundary with No.12 Manor Close and has a maximum height of 1.85m (h), but is topped with 650mm (h) trellis for a distance of 16.75m (l) and along 6m (l) return boundary with No.12. The wall comprises an additional number of brick courses raising its original height from 1.475m (h) and includes new sections at either end. The first next to a new side garage extension for No.56 and at the far end bricking up of a former garage entrance adjacent to No.12 Manor Close and a return boundary wall with No.12. The applicant's agent has indicated that closure and the heightening of the wall has been done to improve privacy following the removal of numerous conifers.

1.3 Relevant Planning History

19650/APP/2001/1514 56 Manor Way Ruislip

ERECTION OF A SINGLE STOREY CONSERVATORY

Decision Date: 12-09-2001 **Approved** **Appeal:**

19650/APP/2007/3169 56 Manor Way Ruislip

ERECTION OF A SINGLE STOREY REAR EXTENSION

Decision Date: 17-12-2007 **Approved** **Appeal:**

Comment on Planning History

The unauthorised development has been investigated by an Enforcement Officer but no formal action initiated.

2. Advertisement and Site Notice

2.1 Advertisement Expiry Date:- 10th February 2010

2.2 Site Notice Expiry Date:- 10th February 2010

3. Comments on Public Consultations

11 Neighbours and the Ruislip Residents Association consulted 2 replies received principally objecting to the slow erosion of spirit and purpose of the Conservation Area due to a massive and overbearing wall topped with trellis exceeding 2 metres, replacing a screen conifer tree and constructed without the benefit of planning permission.

Conservation Officer:

BACKGROUND

This is a prominent house at the junction of Manor Way and Manor Close in the Manor Way Conservation Area. This is a retrospective application.

COMMENTS

The proposed boundary to the side and rear would be visible from Manor Close. Whilst not ideal, it is felt that the overall height of the proposed side boundary would mitigate the visual impact of the previous side extension with a dummy pitched roof to some extent. The proposed wooden trellis would be appropriate as this would reduce the solidity and visual bulk of the brick wall. It is therefore acceptable. Any new brickwork should match existing and samples of the bricks and mortar should be submitted to the Council for approval.

CONCLUSION: Acceptable, materials subject to condition.

Trees/Landscape Officer:

I refer to the above application, drawing No. 2738/01 and a recent site visit:

THE SITE

The site is a semi-detached house on the south side of Manor Way, at the junction of Manor Close. The house is set behind an established front garden with mature hedging defining the front and side boundaries. The house is situated within the Ruislip Manor Way Conservation Area, a designation which protects trees.

THE PROPOSAL

The proposal is a retrospective application to retain a 1.8 metre high brick wall with timber trellis above, as shown on drawing No. 01 Rev A. The wall defines the rear garden, alongside Manor Close and part of the boundary with house number 12.

During a site visit, the owner explained that climbing plants have been planted within the rear garden which will be trained through the trellis to provide a softer edge to the top of the wall. The wall replaces a conifer hedge which, the owner stated, was gappy and

provided inadequate privacy or security.

KEY LANDSCAPE ISSUE

The visual impact of the wall is reduced because it is on a side boundary. It will also mellow over time and appear 'softer' in the landscape as the climbing plants are trained through the trellis. However, details of the plants and the long-term intention to maintain the plants at this height could be conditioned.

RECOMMENDATION

No objection subject to conditions TL5, TL6 and TL7.

A Ward Councillor has requested that the application be reported to Committee given the potential impact of the proposal on the Conservation Area.

4. **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

BE4	New development within or on the fringes of conservation areas
BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
HDAS	Residential Extensions - Section 10
CACPS	Council's Adopted Car Parking Standards (Annex 1, HUDP, Saved Policies, September 2007)

5. **MAIN PLANNING ISSUES**

The main considerations are design and impact on the character of the existing property, the street scene in Ruislip Manor Conservation Area, impact upon the amenities of adjoining Manor Close residents and impact on the highway.

In terms of design and appearance its impact on existing property and contribution to the Ruislip Manor Conservation Area street scene, it would appear that new sections have been added to an original boundary brick wall to a domestic property. Whilst not readily visible from Manor Way the wall is prominent within Manor Close particularly the southeastern end section for those residents occupying properties Leaholme and Hadlea

opposite. In addition, with an increased height from 1.475 to 1.85 metres alongside the highway boundary the wall exceeds the Permitted Development limit.

However, in terms of scale, design, layout and appearance with the use of similar bricks to the mellow stocks of the original wall its overall contribution to the street scene and Conservation Area is such that it is not considered that the development seriously harms the overall character and appearance of Manor Close or the area in general. Moreover, the overall height of the boundary wall, to some extent, helps to mitigate the visual impact of the side extension to the property which has a dummy pitched roof and the wooden trellis would also be appropriate as this would reduce the solidity and visual bulk of the brick wall. Although, because of its newness the trellis does appear slightly incongruous, once it has weathered and performs as a support for climbing plants its overall impact will diminish. As such it is, therefore, considered that the side boundary wall and trellis would not be detrimental to the preservation of the character and appearance of the Conservation Area thereby complying with Policies BE4, BE13, BE15, and BE19 of the adopted UDP (Saved Policies September 2007) and Section 10 of the SPD HDAS: Residential Extensions.

With regard to the impact upon the amenities of adjoining occupiers, essentially the wall is higher than previously but not particularly dominant due mainly to the mellow appearance of the stock brick used in its construction matching with the predominant original wall. Moreover, it cannot be considered to be so objectionable as to seriously impact on the visual amenity of the occupiers of Leaholme and Hadlea nor as a side boundary return wall to the occupiers of No.12 Manor Close. Due to its newness, the trellis above the wall appears to have a substantial frame and does appear stark in contrast to the mellow brick but it is not particularly unattractive and its newness would, nonetheless, diminish with weathering. Moreover, it is intended to support climbing shrubs and provide privacy rather than as a security deterrent and would achieve this same effect were it to be lowered. Overall the retention of this extended wall would be unlikely to permanently compromise the visual amenity enjoyed by the occupiers of the overlooking properties. It is, therefore, considered that they are unlikely to experience any significant long term loss of outlook, light or privacy. The proposal would thereby comply with the objectives of Policies BE20, BE21 and BE24 of the adopted UDP (Saved Policies September 2007) and Section 10 of the SPD HDAS: Residential Extensions.

In terms of highway safety with regards to visibility, there would be no significant change from the foregoing situation as the return wall along the side boundary of No.12 Manor Close would not impair visibility from the driveway of No.12 Manor Close situated at the southern end of their frontage. Manor Close itself is a cul de sac comprising a short section of roadway with a turning head. The extended brick wall would not in itself, impede the free flow of traffic onto the highway, thereby complying with Policy AM7(ii) of the adopted UDP (Saved Policies September 2007).

There would be no reduction to the rear garden area and, therefore, the proposals comply with Policy BE23 of the adopted UDP (Saved Policies September 2007) and Section 10 of the SPD HDAS: Residential Extensions.

6. RECOMMENDATION

APPROVAL subject to the following:

1 TL5 Landscaping Scheme - (full apps where details are reserved)

A landscape scheme providing full details of soft landscaping works shall be submitted to the Local Planning Authority within 6 months of the date of this approval and shall be approved in writing by the Local Planning Authority and the works shall be carried out as approved. The scheme shall include: -

- Planting plans (at not less than a scale of 1:100),
- Written specification of planting and cultivation works to be undertaken,
- Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate,
- Implementation programme.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

2 TL6 Landscaping Scheme - implementation

All soft landscaping shall be carried out in accordance with the approved landscaping scheme and shall be completed within the first planting and seeding seasons following the completion of the development or the occupation of the buildings, whichever is the earlier period.

The new planting and landscape operations should comply with the requirements specified in BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs' and in BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. Thereafter, the areas of hard and soft landscaping shall be permanently retained.

Any tree, shrub or area of turfing or seeding shown on the approved landscaping scheme which within a period of 5 years from the completion of development dies, is removed or in the opinion of the Local Planning Authority becomes seriously damaged or diseased shall be replaced in the same place in the next planting season with another such tree, shrub or area of turfing or seeding of similar size and species unless the Local Planning Authority first gives written consent to any variation.

REASON

To ensure that the landscaped areas are laid out and retained in accordance with the approved plans in order to preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

3 TL7 Maintenance of Landscaped Areas

No development shall take place until a schedule of landscape maintenance for a minimum period of 5 years has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of the arrangements for its implementation. Maintenance shall be carried out in accordance with the approved schedule.

REASON

To ensure that the approved landscaping is properly maintained in accordance with policy BE38 of the Hillingdon Unitary Development Plan (September 2007).

4 OM1 Development in accordance with Approved Plans

The development shall not be carried out otherwise than in strict accordance with the plans hereby approved unless consent to any variation is first obtained in writing from the Local Planning Authority.

REASON

To ensure that the external appearance of the development is satisfactory and complies with Policies BE4, BE13 and BE19 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

INFORMATIVES

Standard Informatives

- 1 The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

- 2 The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, and to all relevant material considerations, including Supplementary Planning Guidance:
Policy No.

BE4	New development within or on the fringes of conservation areas
BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
HDAS	Residential Extensions - Section 10
CACPS	Council's Adopted Car Parking Standards (Annex 1, HUDP, Saved Policies, September 2007)

- 3 You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must

be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

- 4 You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.
- 5 Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).
- 6 You have been granted planning permission to build a residential extension. When undertaking demolition and/or building work, please be considerate to your neighbours and do not undertake work in the early morning or late at night or at any time on Sundays or Bank Holidays. Furthermore, please ensure that all vehicles associated with the construction of the development hereby approved are properly washed and cleaned to prevent the passage of mud and dirt onto the adjoining highway. You are advised that the Council does have formal powers to control noise and nuisance under The Control of Pollution Act 1974, the Clean Air Acts and other relevant legislation. For further information and advice, please contact - Environmental Protection Unit, 4W/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250190).
- 7 The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:
 - carry out work to an existing party wall;
 - build on the boundary with a neighbouring property;
 - in some circumstances, carry out groundworks within 6 metres of an adjoining building.Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning & Community Services Reception Desk, Level 3, Civic Centre, Uxbridge, UB8 1UW.
- 8 Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission

does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

- 9 Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

- 10 You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or adequately clear it away could result in action being taken under the Highways Act.

- 11 To promote the development of sustainable building design and construction methods, you are encouraged to investigate the use of renewable energy resources which do not produce any extra carbon dioxide (CO₂) emissions, including solar, geothermal and fuel cell systems, and use of high quality insulation.


- 12 You are advised that care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense. For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

Contact Officer: Peter Unthank

Telephone No: 01895 250230



Notes

 Site boundary

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Site Address	
56 Manor Way, Ruislip	
Planning Application Ref:	Scale
19650/APP/2009/2604	1:1,250
Planning Committee	Date
North Page 53	January 2010

**LONDON BOROUGH
OF HILLINGDON**

**Planning &
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

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Plans for North Planning Committee

16th March 2010



HILLINGDON
LONDON



INVESTOR IN PEOPLE

Report of the Head of Planning & Enforcement

Address HAREFIELD HOSPITAL HILL END ROAD HAREFIELD MIDDLESEX

Development: Retention and continued use, for a further period of two years, of single storey temporary ward building with access link to main building (previous planning permission ref.9011/APP/2006/2843.)

LBH Ref Nos: 9011/APP/2009/2546

Date Plans Received: 24/11/2009 **Date(s) of Amendment(s):** 24/11/2009

Date Application Valid: 12/01/2010 24/12/2009

Do not scale from this drawing.
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 All dimensions are based on 1000mm only and should not be interpreted for measurement. All dimensions and levels should be read only from those values stated in text on the drawing.
 The contractor shall check and verify all dimensions on site before commencing work, in writing, to Studio 4 before proceeding with the work.
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DATE: SEPTEMBER 2006 SCALE 1:1250 @ A3
 HAREFIELD HOSPITAL
 PROPOSED TEMPORARY WARD
 Hill End Road, Harefield

SITE LOCATION PLAN

DWG NO. 2097 - 01

STUDIO 4 architecture

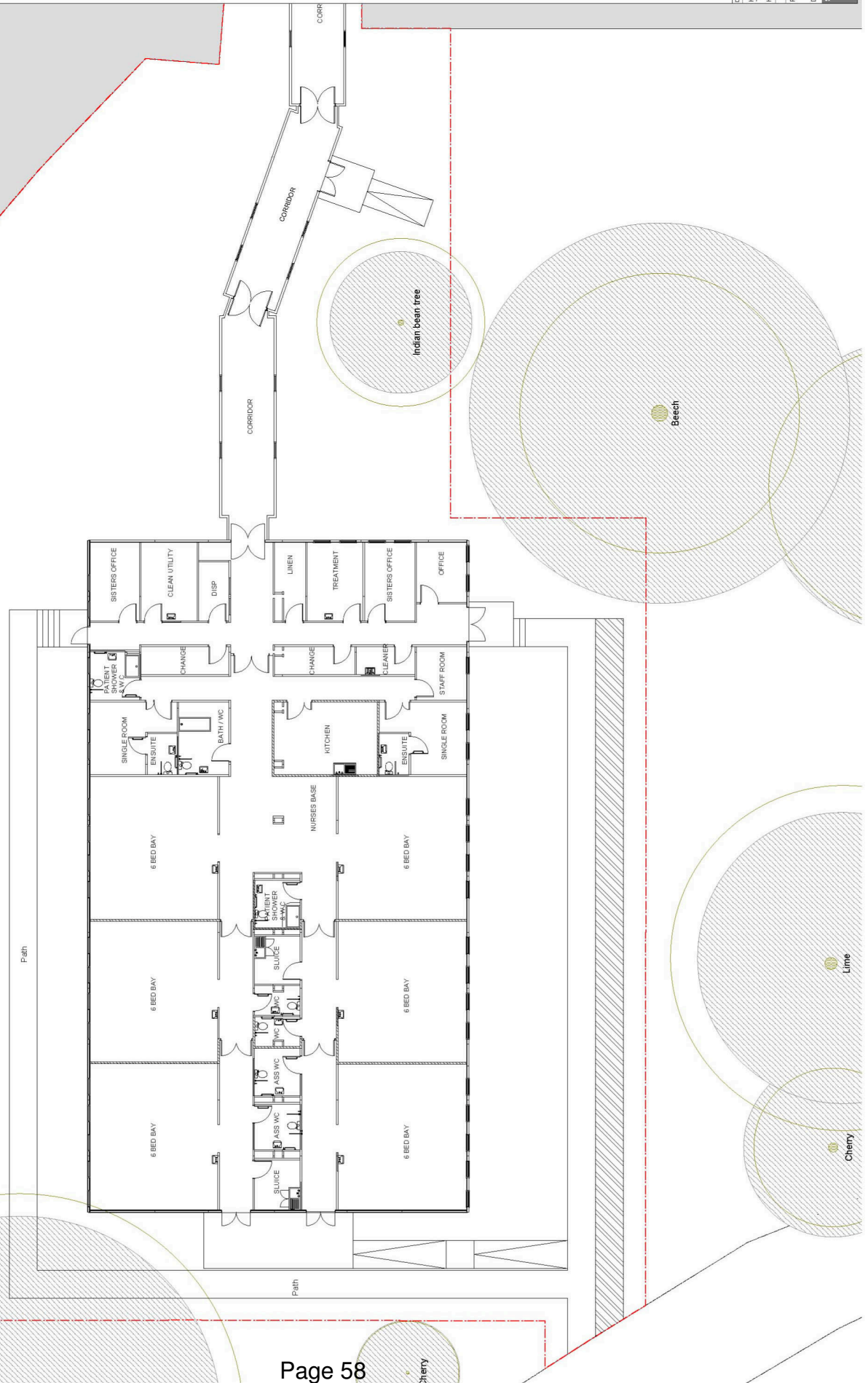
34 LONG LAKE LONDON SE17 6JG
 T 020 7357 7790
 F 020 7357 7790
 E mail@studio4architecture.com



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 drawings.
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 should be rounded up to the nearest millimeter.
 The number of decimal places in the dimensions
 should be the same as in the drawing.
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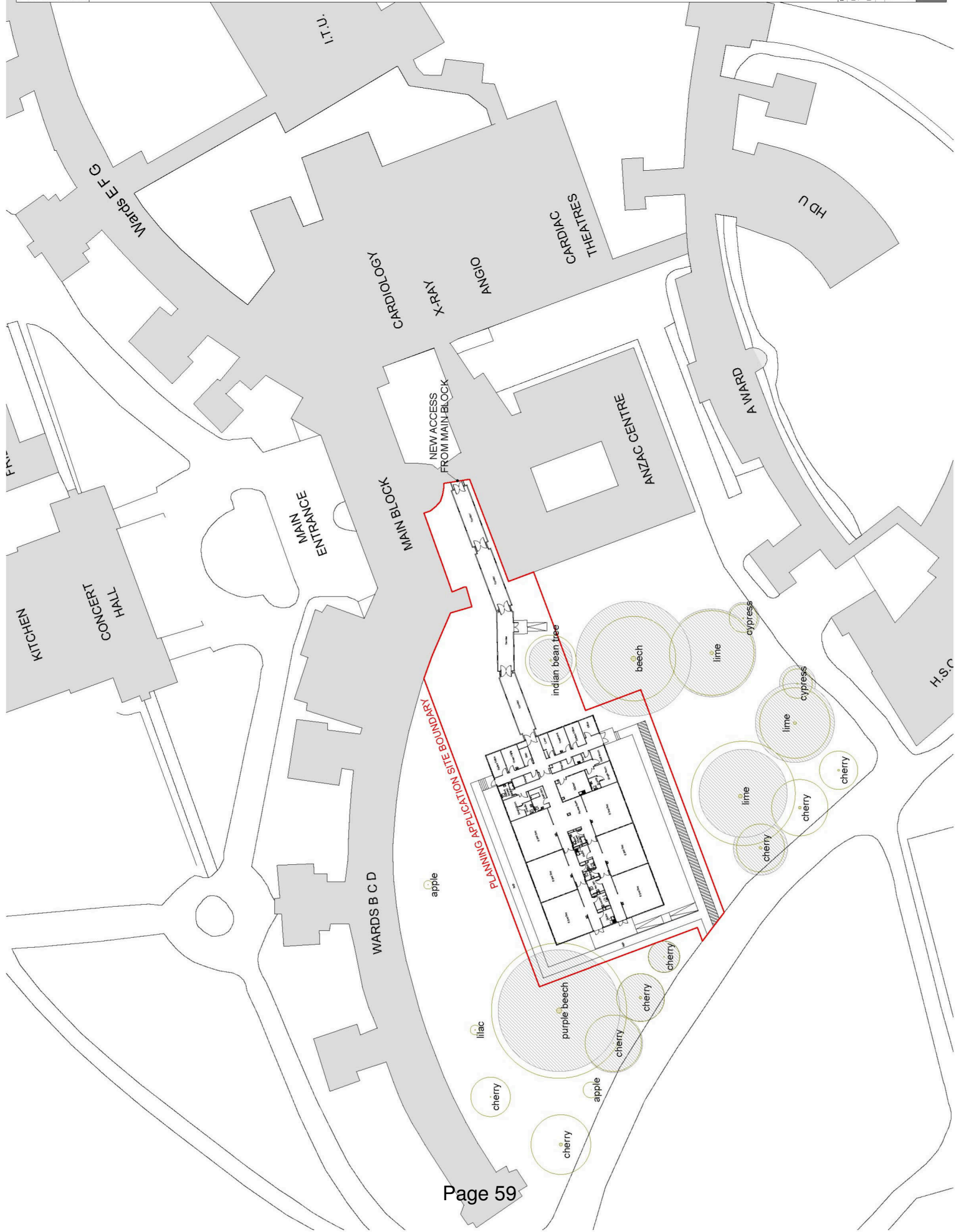
DATE: DECEMBER 2008 SCALE: 1:100 @ A1
 HARFIELD HOSPITAL
 TEMPORARY WARD
 Hill End Road, Harfield
 PLANS OF NEW BUILDING
 DWG NO. 2087-05
 STUDIO
 4 ARCHITECTS

PLANNING APPLICATION SITE BOUNDARY



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This drawing is to be used in conjunction with all other drawings of the project.
Electronic CAD/Change and Issue Management (E-CIM) and other software tools may be used to generate drawings from this drawing. The user must ensure that the drawings are generated from the correct version of the drawing.
The drawings are to be used in conjunction with all other drawings of the project.
The drawings are to be used in conjunction with all other drawings of the project.
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DATE: DECEMBER 2009 SCALE: 1:100 @ A0
HARFIELD HOSPITAL
TEMPORARY WARD
HI END ROAD, HARFIELD
SITE LOCATION PLAN
DWG NO.: 2097 - 04
STUDIO: 4 architects



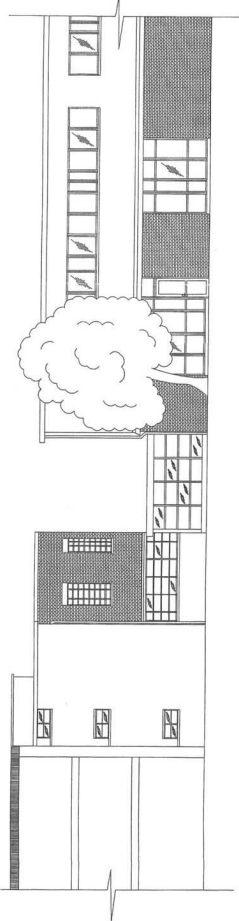
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 The contractor shall check and verify all dimensions on site prior to construction. In writing, to Studio 4 before proceeding with the work.
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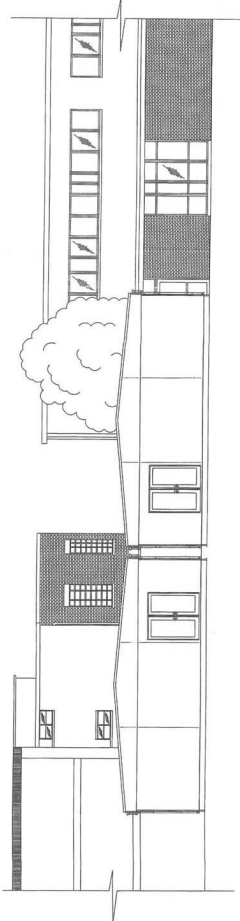
DATE: SEPTEMBER 2008 SCALE 1:100 @ A1
 HAREFIELD HOSPITAL
 PROPOSED TEMPORARY WARD
 Hill End Road, Harefield

ELEVATIONS OF EXISTING AND NEW BUILDINGS
 DWG NO. 2087 - 03

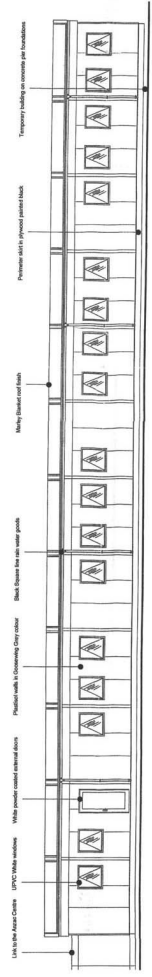
STUDIO 4 ARCHITECTURE
 81 LONG LANE LONDON SE1 4AU
 T 020 7587 7798
 F 020 7587 7799
 E mail@studio4arch.co.uk



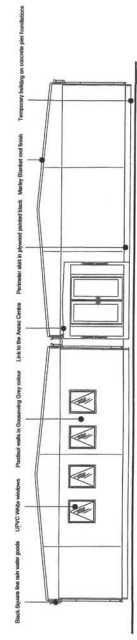
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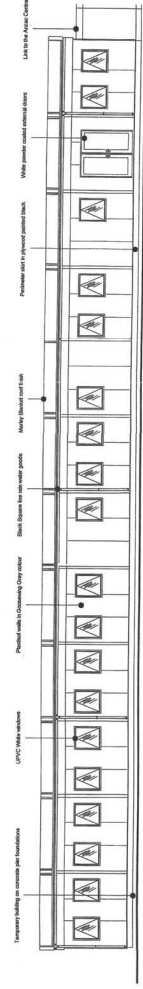
PROPOSED ELEVATION FROM ESTATE ROAD



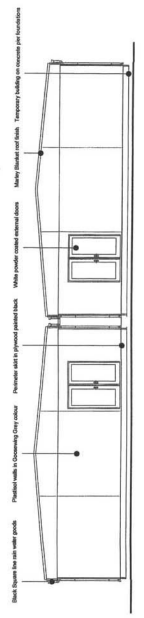
ELEVATION A (NORTH)



ELEVATION B (EAST)



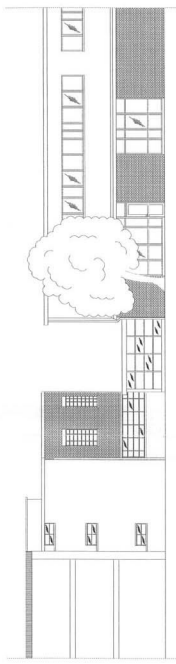
ELEVATION C (SOUTH)



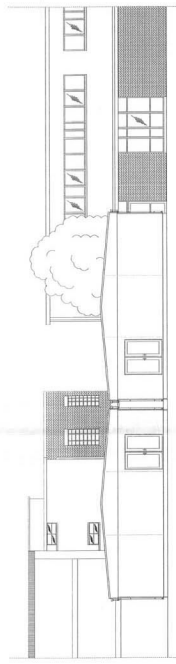
ELEVATION D (WEST)

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 Electronic data drawings are issued as 'read only' and cannot be modified. All dimensions and levels should be read from some other drawing in the set or the drawing.
 All dimensions are in millimeters unless otherwise stated.
 All dimensions are to the face of the work unless otherwise stated.
 All dimensions are to the center of the work unless otherwise stated.
 All dimensions are to the center of the work unless otherwise stated.
 All dimensions are to the center of the work unless otherwise stated.

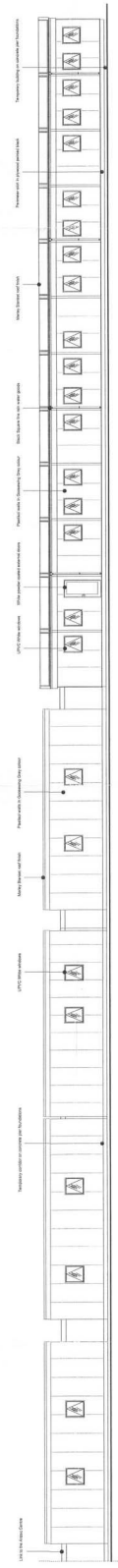
DATE: SEPTEMBER 2008 SCALE: 1:100 @ A4
 HAREFIELD HOSPITAL
 PROPOSED TEMPORARY WARD
 Hill End Road, Harfield
 GENERAL LAYOUT OF NEW BUILDING
 DWG NO. 2097 - 02
 ARCHITECTS
 21 MAY 2008
 HAREFIELD HOSPITAL
 ARCHITECTS



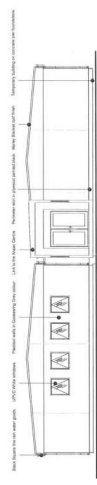
EXISTING ELEVATION FROM ESTATE ROAD



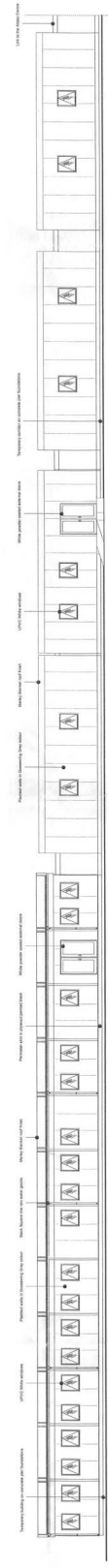
PROPOSED ELEVATION FROM ESTATE ROAD



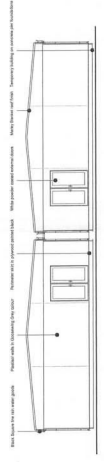
ELEVATION A (NORTH)



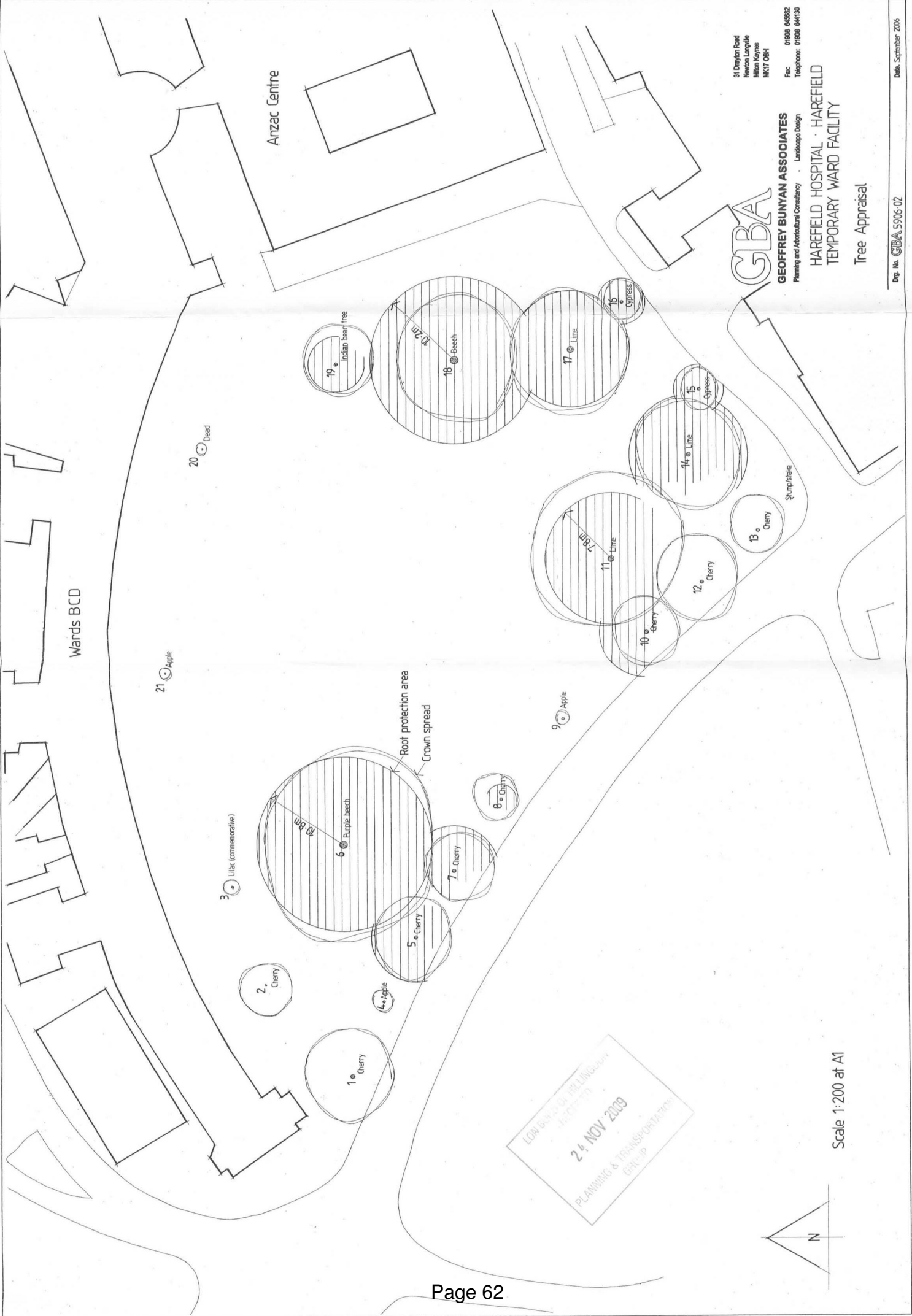
ELEVATION B (EAST)



ELEVATION C (SOUTH)



ELEVATION D (WEST)



31 Dreyden Road
Newson Longfolds
Newson Heights
MK17 0SH

Fax: 01938 648822
Telephone: 01938 644130

GEOFFREY BUNYAN ASSOCIATES
Planning and Architectural Consultancy · Landscape Design

HAREFIELD HOSPITAL · HAREFIELD
TEMPORARY WARD FACILITY

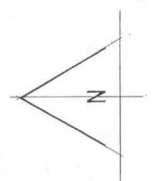
Tree Appraisal

GBA

Drp. No. **GBA 5906-02**

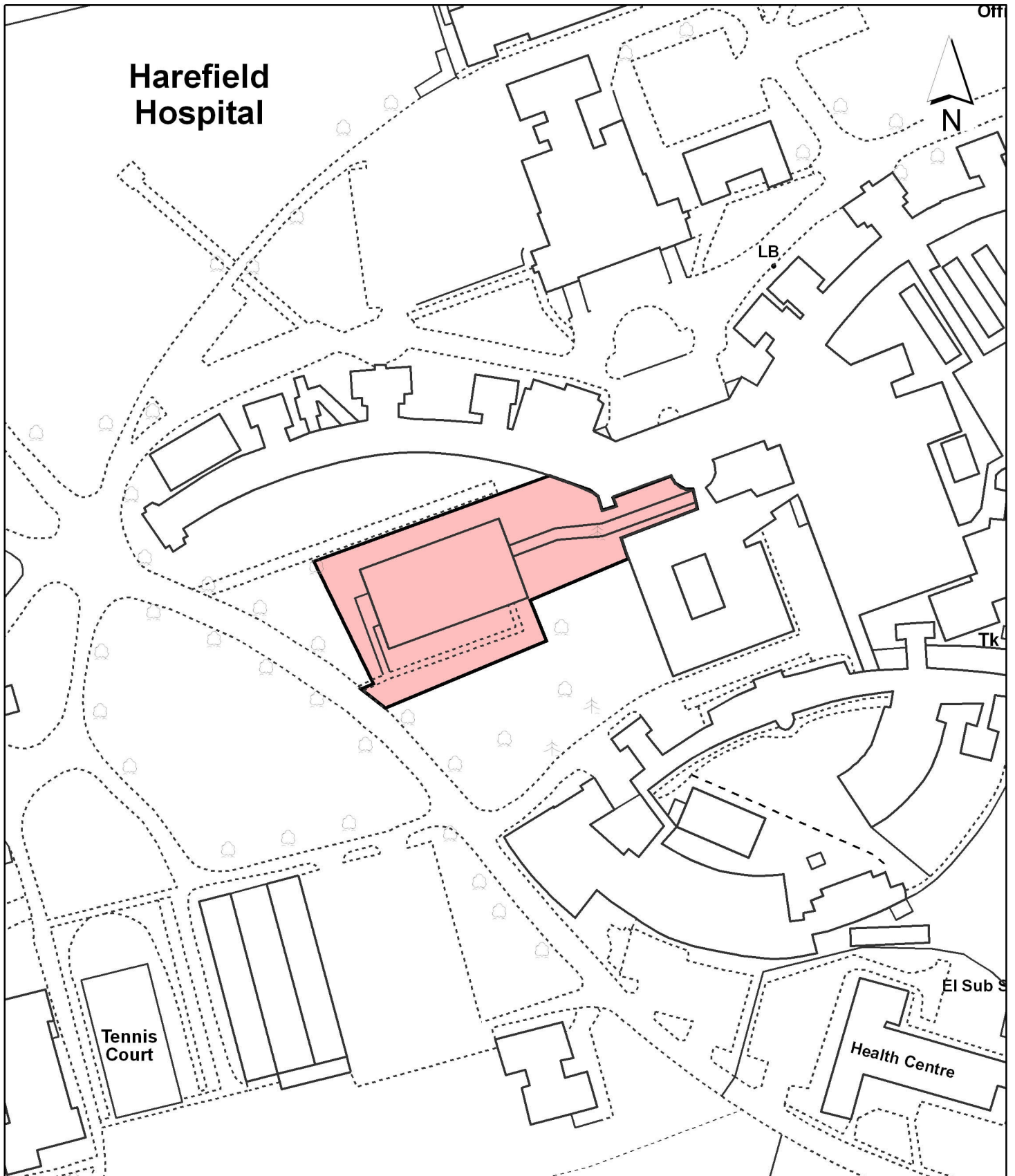
Date: September 2006

LOWLANDS OF THE MIDLANDS
PLANNING & TRANSPORTATION GROUP
24 NOV 2009



Scale 1:200 at A1

Harefield Hospital



Notes

 Site boundary

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Site Address

**Harefield Hospital,
Hill End Road, Harefield**

**LONDON BOROUGH
OF HILLINGDON
Planning &
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

9011/APP/2009/2546

Scale

1:1,250

Planning Committee

North Page 63

Date

January 2010



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement

Address 94 GLEBE AVENUE ICKENHAM

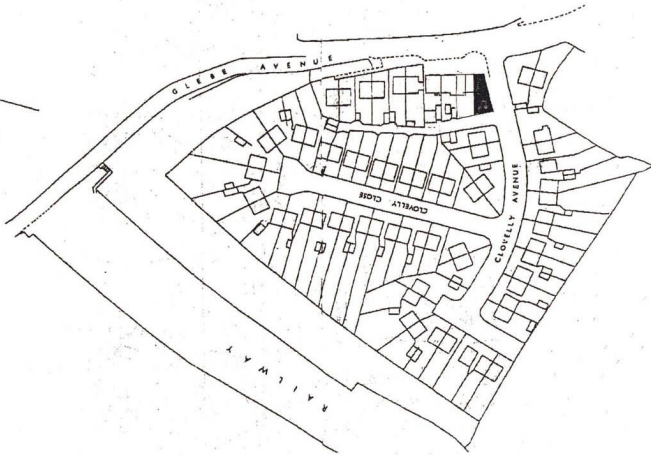
Development: Change of use from Class A1 (Shops) to Class A2 (Financial and Professional Services.)

LBH Ref Nos: 54202/APP/2009/2171

Date Plans Received: 07/10/2009

Date(s) of Amendment(s):

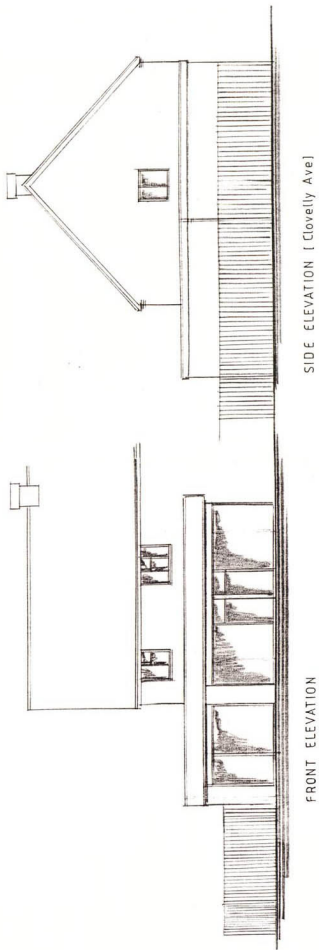
Date Application Valid: 19/11/2009



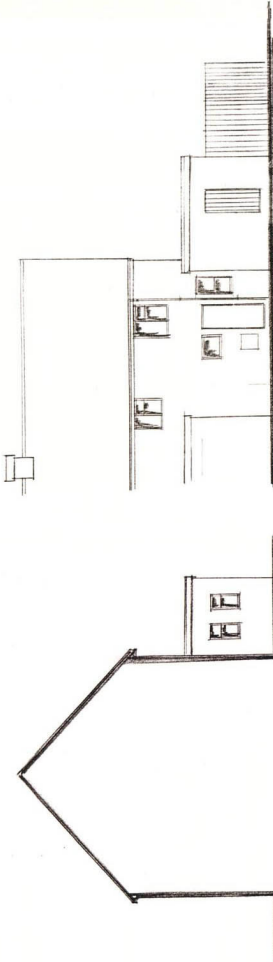
SITE LOCATION PLAN 1:1250



SITE PLAN 1:500



SIDE ELEVATION (Clovelly Ave)



SIDE ELEVATION



SIMPSON McHUGH
 ARCHITECTS & SURVEYORS
 110th St, Westfield, Middlesex, London, W12 7LQ
 Northwood, Middlesex, HA6 5QP
 Tel: 01823 846653
 Fax: 01823 841625
 Email: info@smpmchugh.co.uk

CLIENT: R. FATANIA

PROJECT: 94 GLEBE AVENUE
 ICKENHAM MIDDX UB10 8PG

TITLE: PROPOSED SHOP UNIT
 CHANGE TO A2 USE

scale: 1:100 1:500
 date: APRIL 08

drawing no: 258272
 revision: A

drawn: [signature]
 checked: [signature]



Notes

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Site Address

**94 Glebe Avenue,
Ickenham**

Planning Application Ref:

54202/APP/2009/2171

Planning Committee

North Page 66

Scale

1:1,250

Date

January 2010

**LONDON BOROUGH
OF HILLINGDON
Planning &
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement

Address 121 HERLWYN AVENUE RUISLIP

Development: Retention of part and demolition of part of unauthorised side and rear extension and change to roof profile

LBH Ref Nos: 65165/APP/2010/158

Date Plans Received: 29/01/2010

Date(s) of Amendment(s): 17/02/2010

Date Application Valid: 29/01/2010

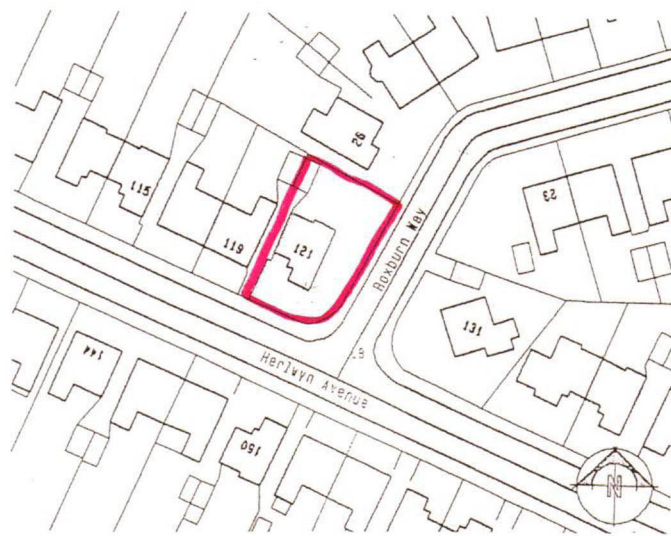
Address: 121 Herlwyn Avenue, Ruislip

Drawing 4589-II

Title: Location Plan

Scale: 1:1250

Date: Jan' 2010



Dale Venn Associates
Chartered Architects, Planners & Surveyors
High House, Harlington Road,
Hillingdon, Middlesex. UB8 3HX.

Tel: 01895 237345 Fax: 01895 237346

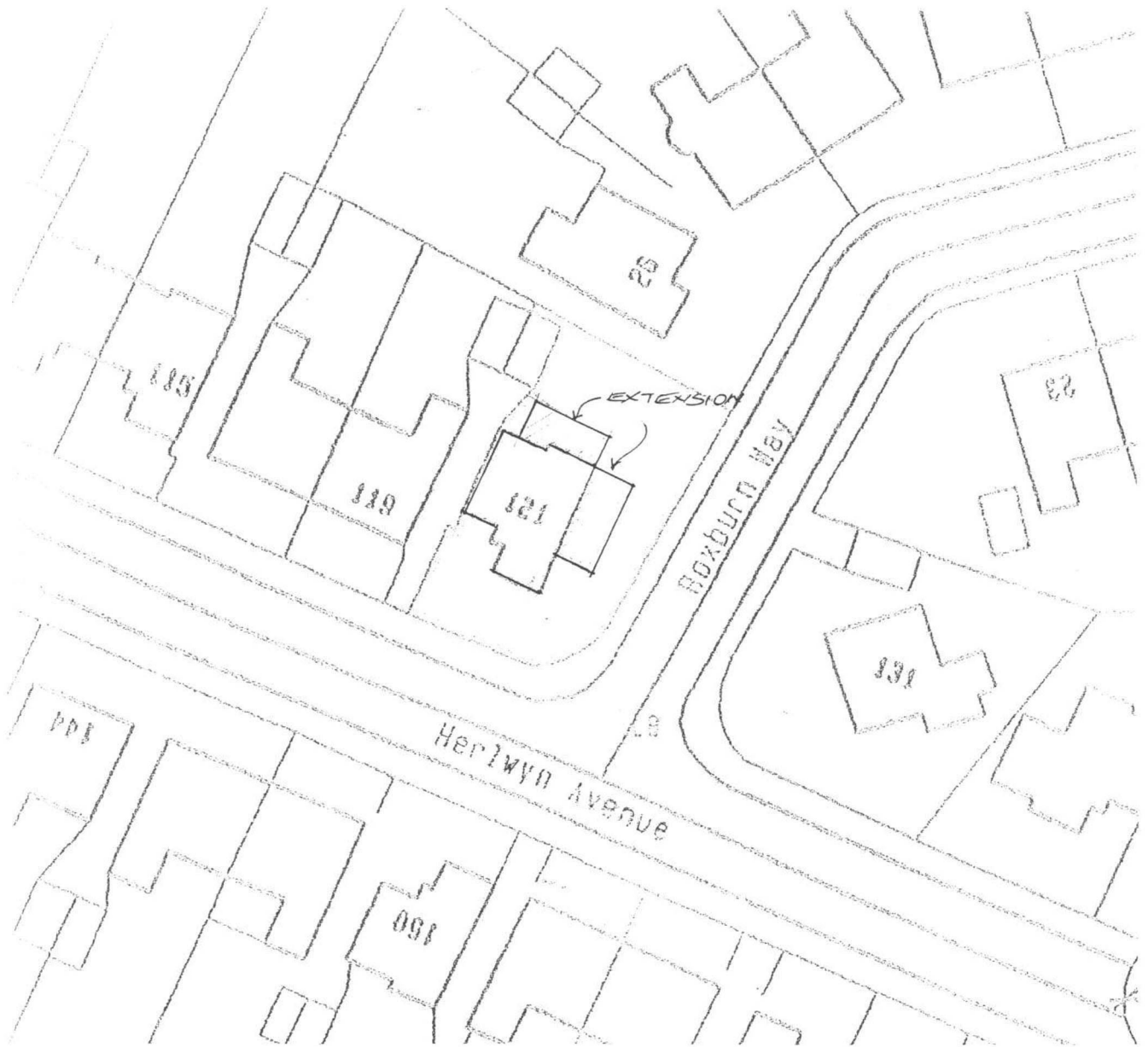
Address: 121 Herlwyn Avenue, Ruislip

Drawing 4589-III

Title: Block Plan

Scale: 1:500

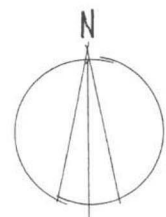
Date: Jan' 2010



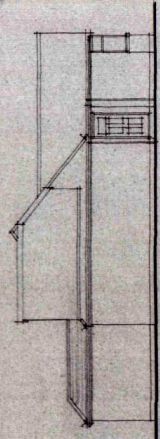
Dale Venn Associates
Chartered Architects, Planners & Surveyors
High House, Harlington Road,
Hillingdon, Middlesex. UB8 3HX.

Tel: 01895 237345 Fax: 01895 237346

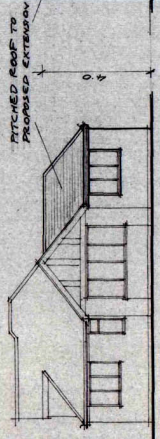
LON BORO OF HILLINGDON
RECEIVED
29 JAN 2010
PLANNING & TRANSPORTATION
GROUP



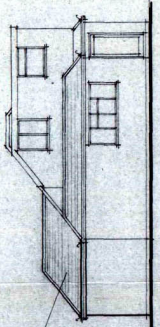
MATERIALS: RED BRICK FACING BRICKS
 WALLS: RED BRICK TO MATCH EXIST
 ROOF: BROWN CONCRETE TILES TO MATCH EXISTING



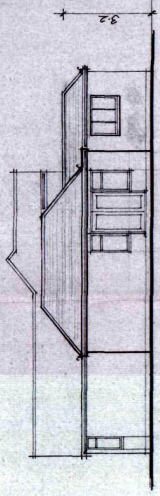
WEST ELEVATION



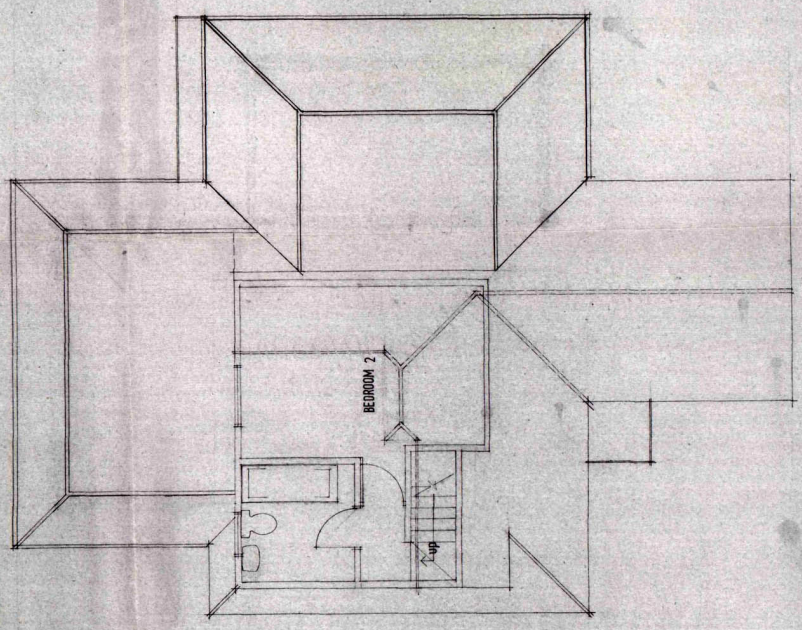
SOUTH ELEVATION



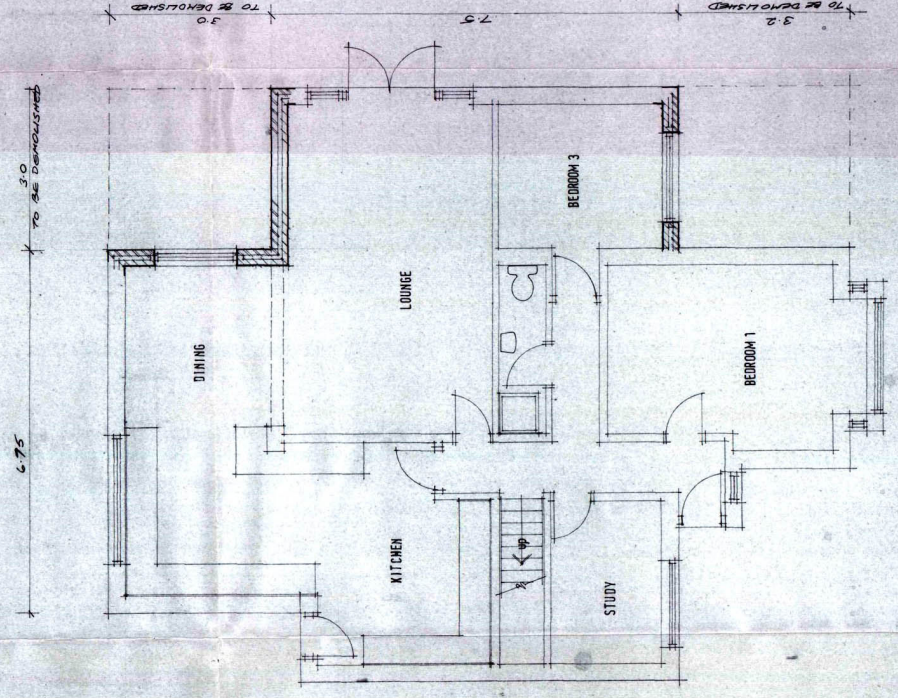
NORTH ELEVATION



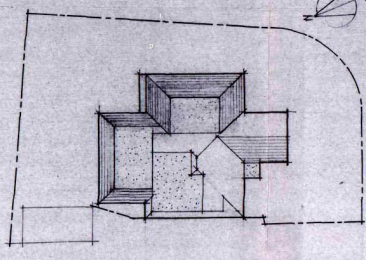
EAST ELEVATION



UPPER FLOOR PLAN



GROUND FLOOR PLAN



SITE PLAN 1:200

LVA BOARD OF REGULATORS
 17 FEB 2000
 PLANNING & TRANSPORTATION GROUP

WINDOW ASSIGNMENTS
 FRS '10
 DATE
 REV.

ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE

JOB
 121 HERLWYN DRIVE
 RUISLIP
 MIDDX
 HA4 6HP

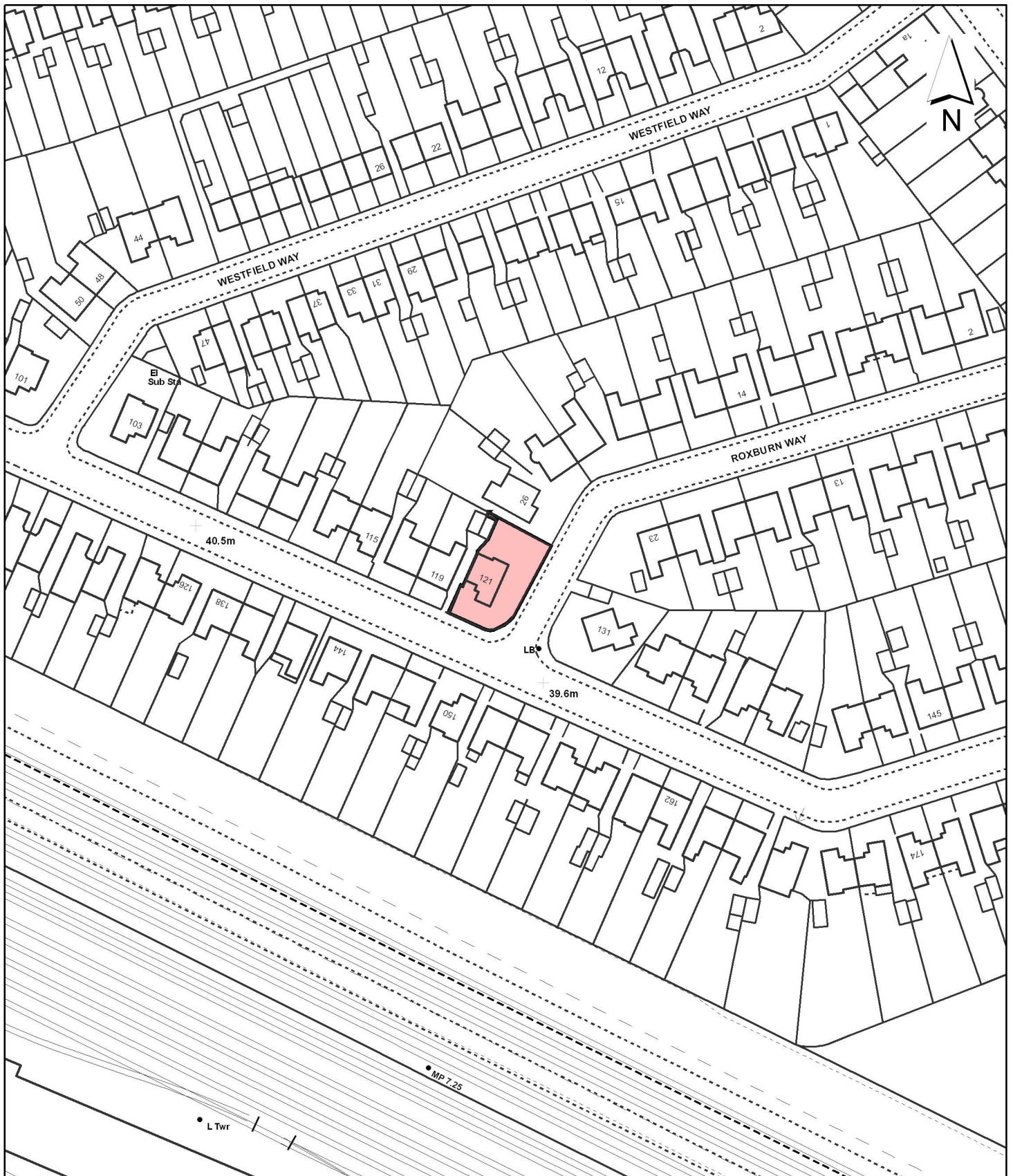
CLIENT
 CATHERINE GILMARTIN-COOPER

DRAWING
 PROPOSED ALTERATIONS


DALE VENN ASSOCIATES
 Architects, Planners & Surveyors
 HIGH HOUSE, HARTINGTON ROAD,
 HILLINGDON, MIDDLESEX. 01895-37345

SCALE 1:100
 DATE JAN '10
 DRAWN I.V.R.
 CHECKED

REV. DRAWING No. 4589-1 A



Notes

 Site boundary

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Site Address	
121 Herlwyn Avenue, Ruislip	
Planning Application Ref:	Scale
65165/APP/2010/158	1:1,250
Planning Committee	Date
North Page 71	January 2010

LONDON BOROUGH OF HILLINGDON

Planning & Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement

Address GIRL GUIDING, WILLOW TREE CENTRE BREAKSPEAR ROAD NORTH
HAREFIELD

Development: Replacement of extant planning permission ref. 50910/APP/2006/2991, dated 03-04-2007 (Erection of two single storey detached buildings for (i) training for adult youth leaders and young people including those with special needs and (ii) maintenance shed for mechanical equipment (health and safety requirements) and provision of two additional disabled car parking spaces for people with disabilities

LBH Ref Nos: 50910/APP/2010/152

Date Plans Received: 20/01/2010

Date(s) of Amendment(s):

Date Application Valid: 04/02/2010

Established site of electricity mains & lines of into miller

3x Acer v campestre
4x hi 320 Gth
3x p spr. all sp. can
to be retained
& prov. during
const. 1st 1/5 fence

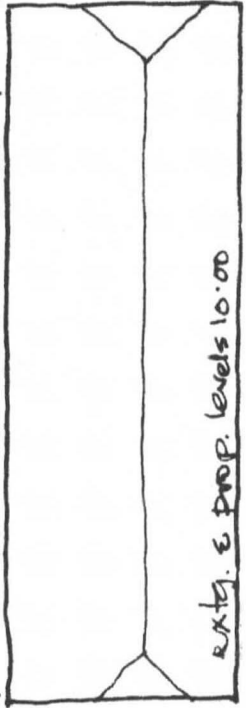
No trees or shrubs
will be removed.

Acceptable
as shown

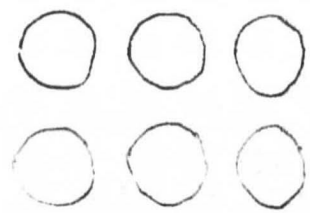
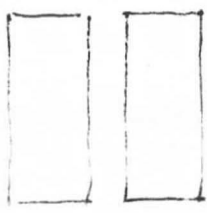
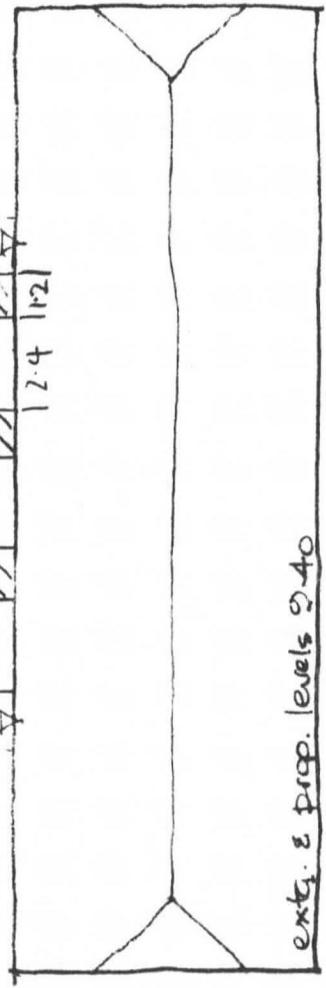
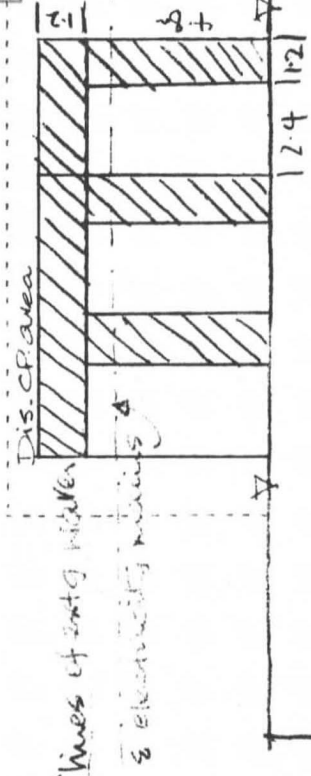
28/2/08

25 FEB 2008

Site boundary fence to be retained



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PLANNING & TRANSPORTATION
GROUP

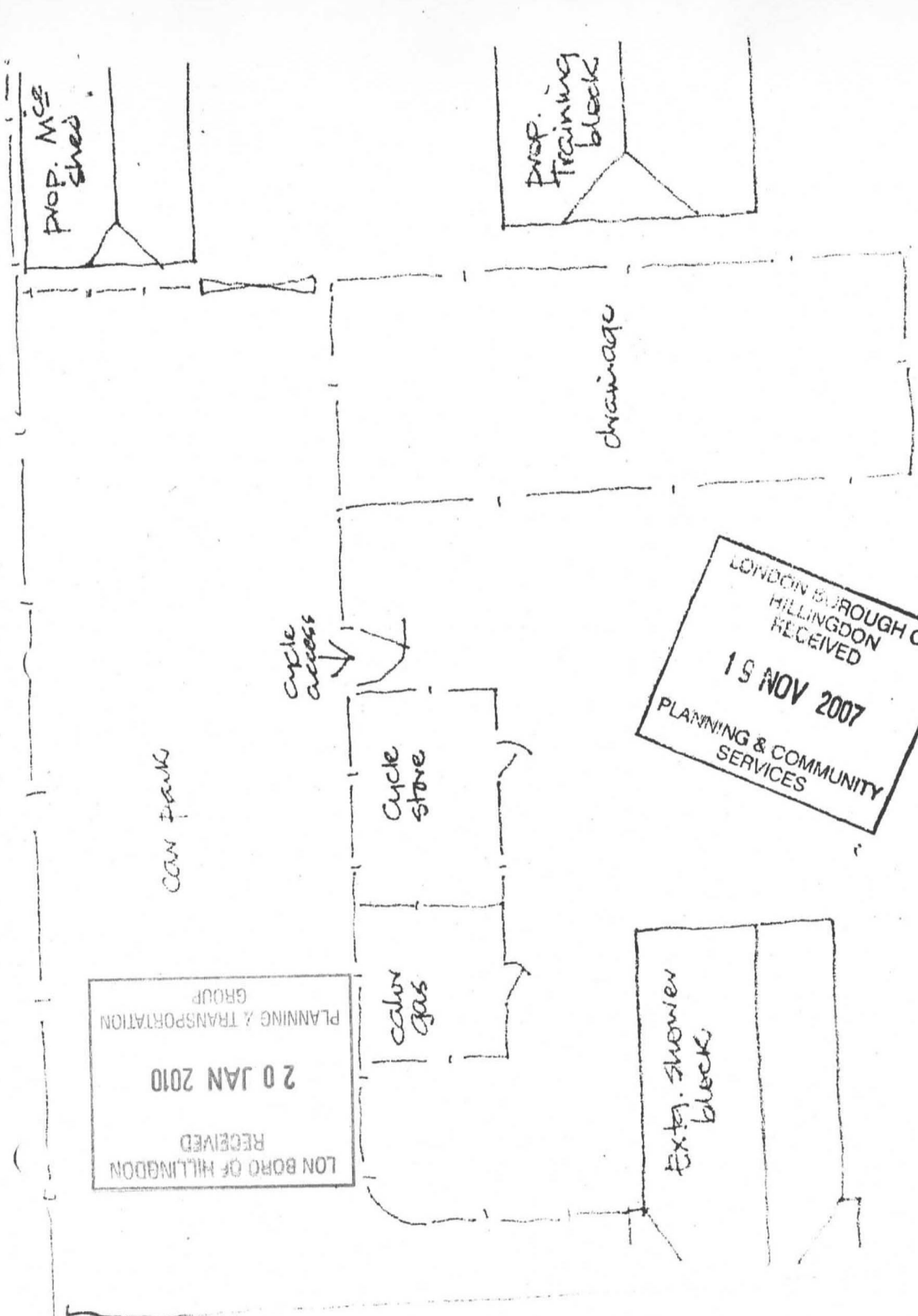


Rev A' 1/08: Disabled c/pkg & access paths shown - BBS 8300

DRWG NO 5A 1-200
NOV '07

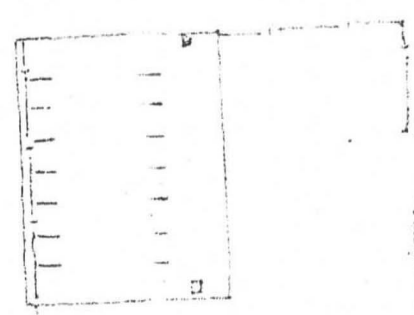
PLANNING: 50910/APR/2006/209'
denis.palmer@btinternet.com

TRAINING CENTRE, etc @
WILLOW TREE CENTRE
BREAKPEAR RD NORTH RUISLIP
MIDDLESEX NORTH-WEST GUIDES



TRAINING CENTRE etc
 67 WILLOW TREE CENTRE
 BREAKSPEAR RD. NORTH, RUISLIP
 MIDD. NORTH - WEST GU. DES

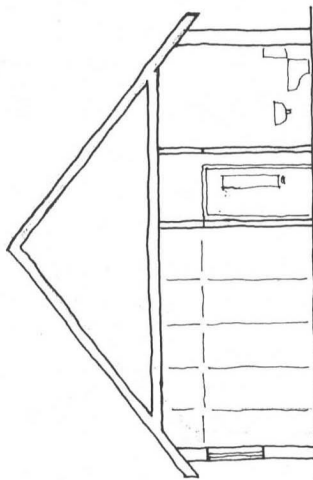
DRWG NO 6 1-200 NOV. 07
 PLANNING: 5090/AP/2006/2001
 12.11.06 12.11.06@btinternet.com



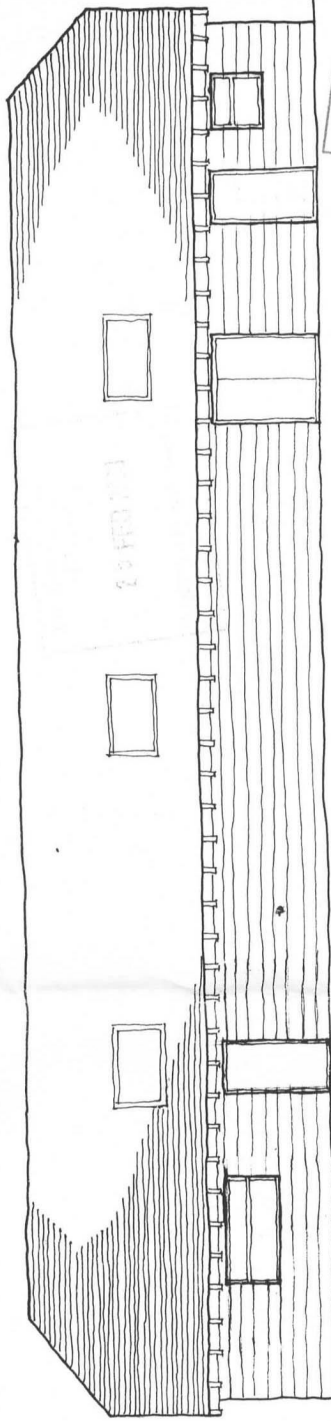
DETAIL 1/100



Ext. window
 area to be fitted with
 because with
 tests.

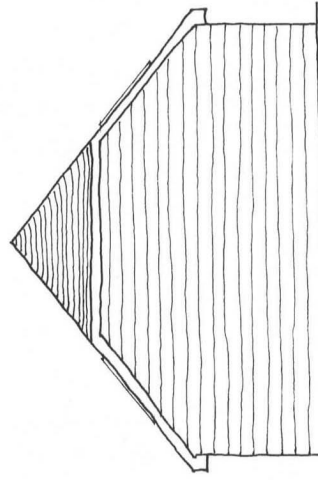


SECTION

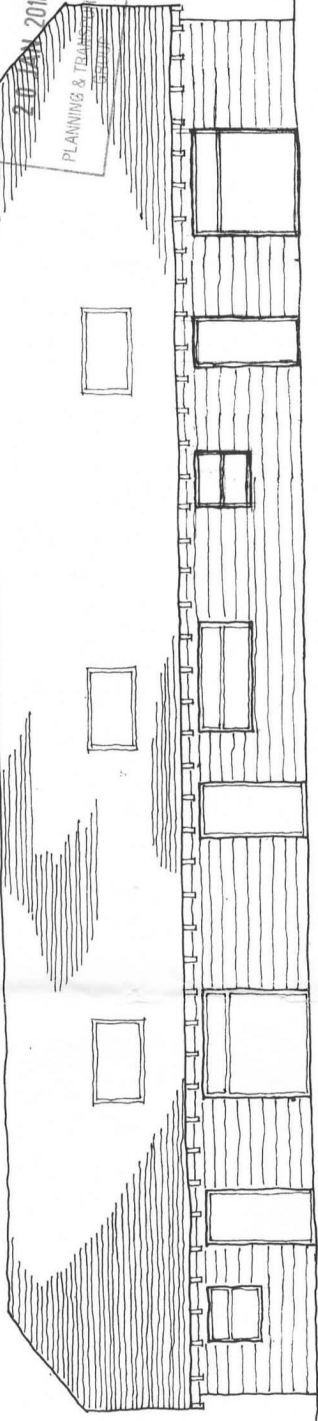


WEST ELEVATION

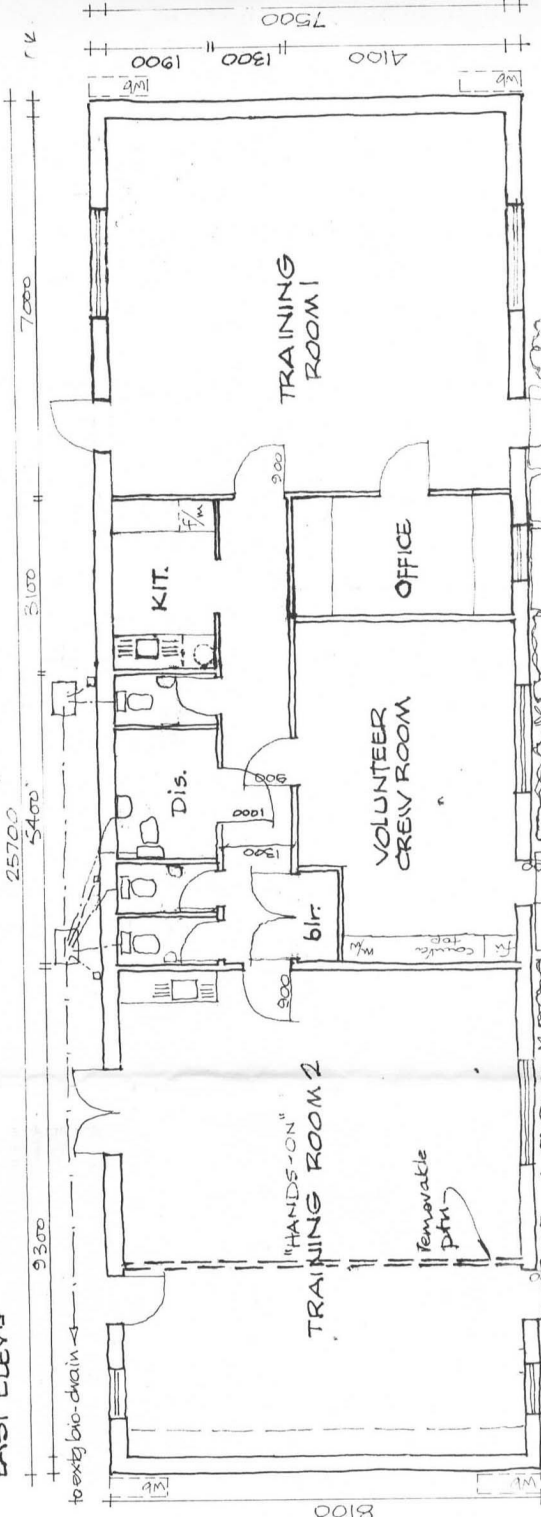
LOV BORO OF HILLINGDON RECEIVED
20 FEB 2010
PLANNING & TECHNICAL STATION



SOUTH & NORTH ELEVATION



EAST ELEVATION



DRWG NO 2A
SCALE: 1:100
AUG 10

TRAINING CENTRE
OF WILLOW TREE CENTRE
BREAKSDEAR RD NORTH, RUISLIP

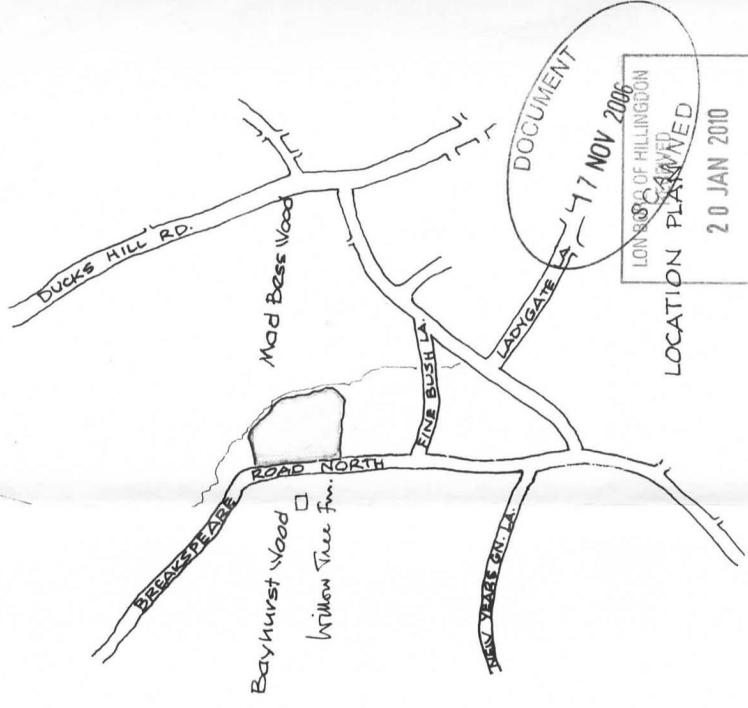
denis.palmer@btinternet.com

REV B JAN 08: DTS, WC amended, & pug. note

- NOTES.
- Roofline & Roof Tiles to match exty. bldgs.
 - Exposed rafters front & rear elevations.
 - 400 o'hang fr. & rear
 - Solar panels fr. & rear
 - Form drainage to exty. bio system
 - Dual flush lavatory cisterns
 - Disabled doors shown 900
 - All pug. at door sill level for disabled
 - Storm dr. to large soakaways
 - Planted beds: selection of lavender, yosa nigosa & arumone japonica.
 - Car parking for Disabled: DWG 5A

FINISHES SCHEDULE

ref: 10/01



DOCUMENT
477 NOV 2006

LOCATION OF HILLINGDON
SITING PLAN
LOCATION PLANNED
20 JAN 2010
PLANNING & TRANSPORTATION
GROUP

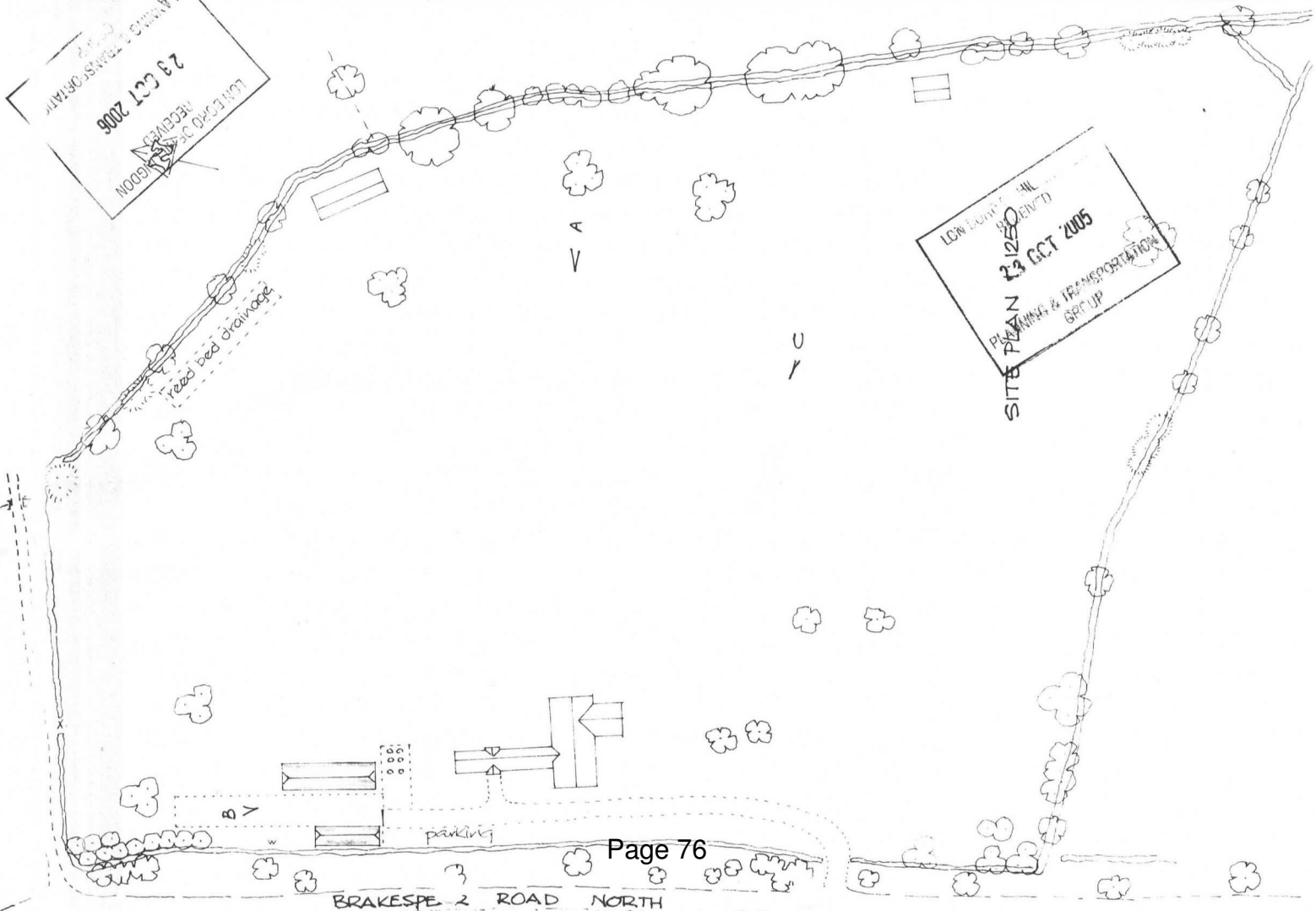
PLANNING & TRANSPORTATION
GROUP
01 NOV 2006

TRAINING CENTRE, etc @
WILLOW TREE CENTRE
BREAKSPEAR RD NORTH, RUISLIP
MIDDLESEX NORTH-VEST GUIDES

DRVG No 1
SCALES: 1-1250 & 25000
AUG '06
denis.palmer3@btinternet.com

PLANNING & TRANSPORTATION
GROUP
23 OCT 2006
LOCATION OF HILLINGDON
SITING PLAN
PLANNING & TRANSPORTATION
GROUP

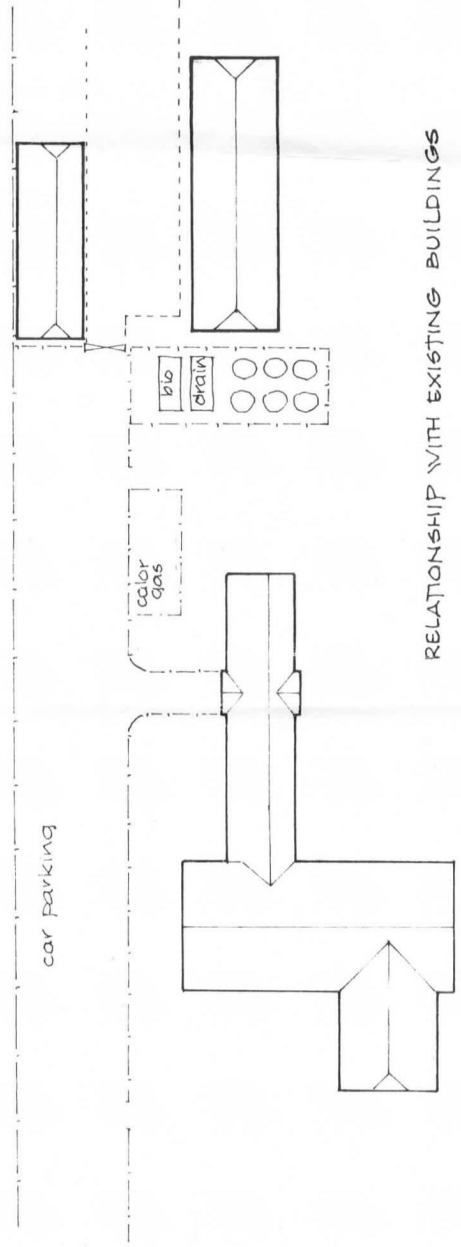
LOCATION OF HILLINGDON
SITING PLAN
23 OCT 2006
PLANNING & TRANSPORTATION
GROUP



06/2991



EAST ELEV - VIEW from FIELD



RELATIONSHIP WITH EXISTING BUILDINGS

LOW BORO OF HILLINGDON
RECEIVED
20 JAN 2010
PLANNING & TRANSPORTATION
GROUP

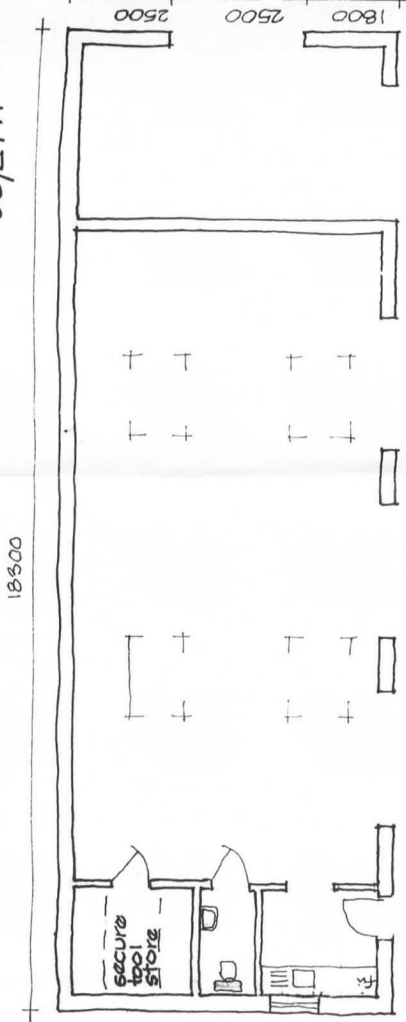
LOW BORO OF HILLINGDON
RECEIVED
01 NOV 2006
PLANNING & TRANSPORTATION
GROUP

DOCUMENT
17 NOV 2006
3:41 PM

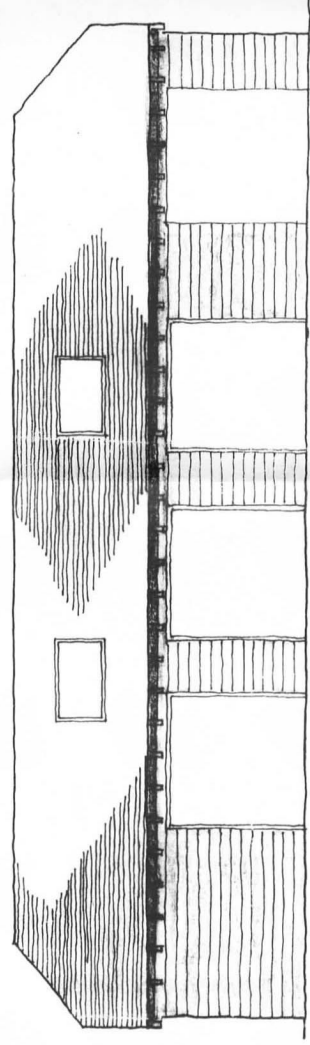
EXTENSIONS
at WILLOW TREE CENTRE
BREAKSPEAR RD. NORTH RUISLID
CON: S. PALMER @ CIVILNET.COM

DRWG NO 4
SCALE: 1:500
AUG '06

06/2991



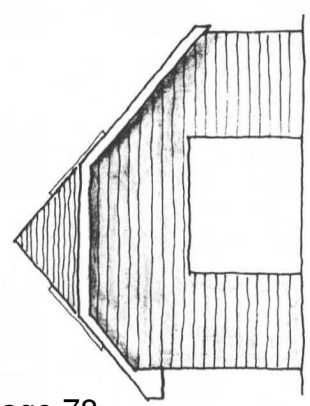
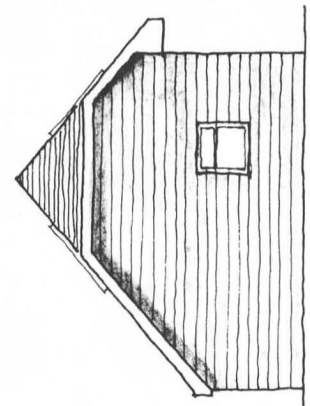
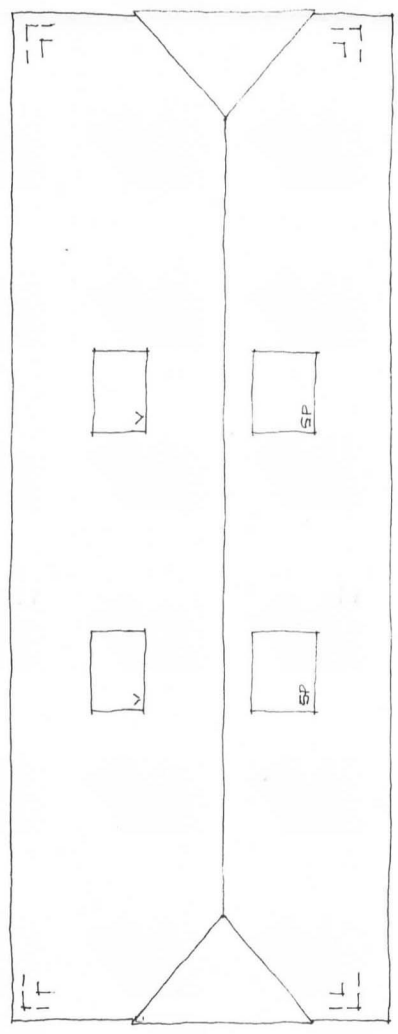
20 JAN 2010
 RECEIVED
 LOW BORO OF HILLINGDON
 PLANNING & TRANSPORTATION GROUP



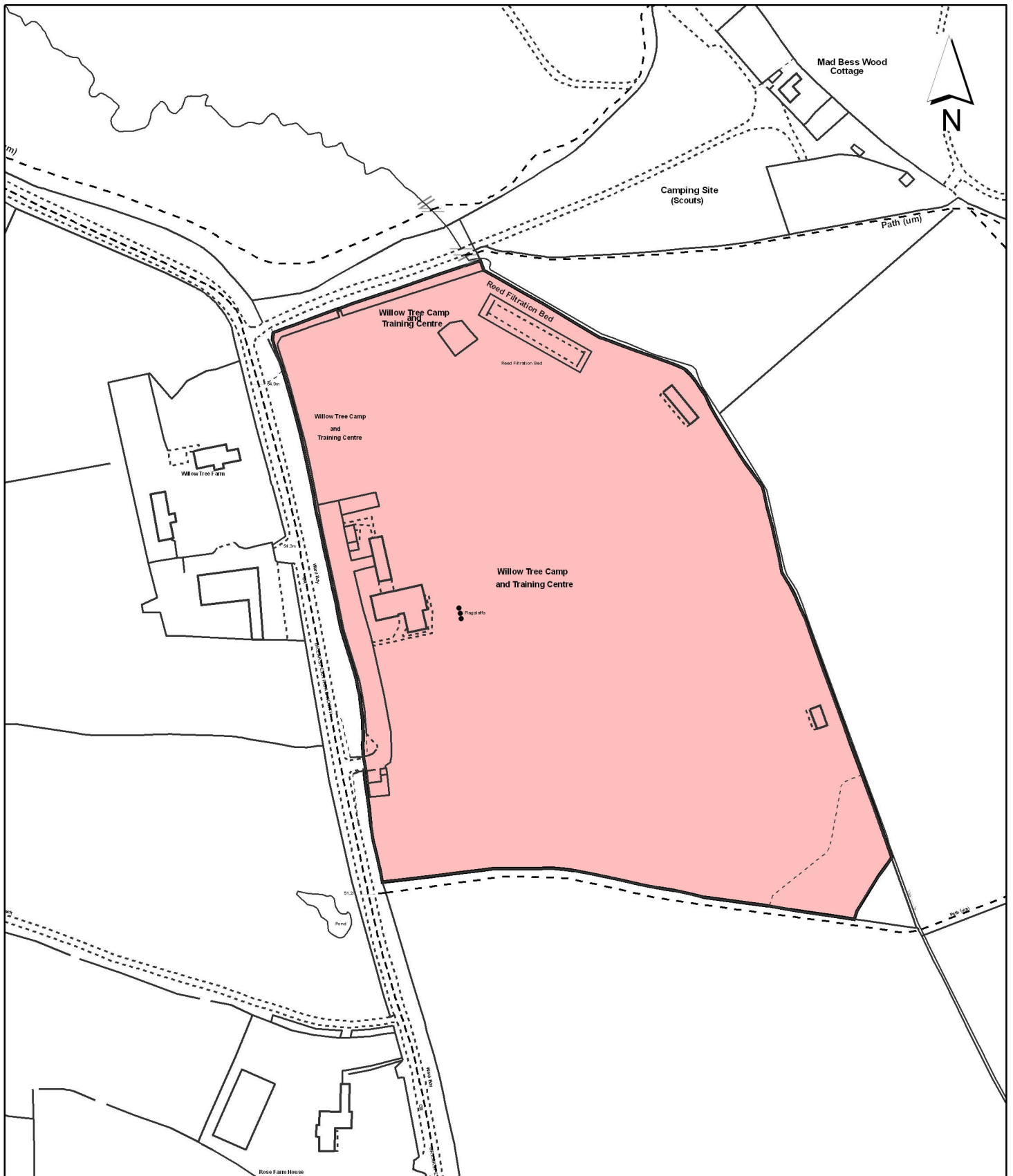
01 NOV 2005
 RECEIVED
 LOW BORO OF HILLINGDON
 PLANNING & TRANSPORTATION GROUP



DRIVE NO 3
 SCALE: 1-100
 AUG 106
 denis.palmer3@btinternet.com

GROUNDS MAINTENANCE SHED
 at WILLOW TREE CENTRE
 BREAKSPEAR RD. NORTH RUISLIP
 for MIDDLESEX NORTH-WEST GUIDES



Roof tiles & facade treatment all as extg. bldgs.
 Exposed rafters on front elevn. 600 o/hang front, 100 o/hang rear.
 Roof incl. Solar panels (front) & Velux lights (rear)
 Full drainage to extg. bio system
 Storm dr. to large soakaways



<p>Notes</p> <p> Site boundary</p> <p>For identification purposes only.</p> <p>This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright.</p> <p>© Crown Copyright. All rights reserved. London Borough of Hillingdon 100019283 2009</p>	<p>Site Address</p> <p>Girl Guiding, Willow Tree Centre, Breakspear Road North, Harefield</p>		<p>LONDON BOROUGH OF HILLINGDON</p> <p>Planning & Community Services</p> <p>Civic Centre, Uxbridge, Middx. UB8 1UW Telephone No.: Uxbridge 250111</p>
	<p>Planning Application Ref:</p> <p>50910/APP/2010/152</p>	<p>Scale</p> <p>1:2,500</p>	
	<p>Planning Committee</p> <p>North Page 79</p>	<p>Date</p> <p>January 2010</p>	
		 <p>HILLINGDON LONDON</p>	

Report of the Director of Planning & Community Services Group

Address 56 MANOR WAY RUISLIP

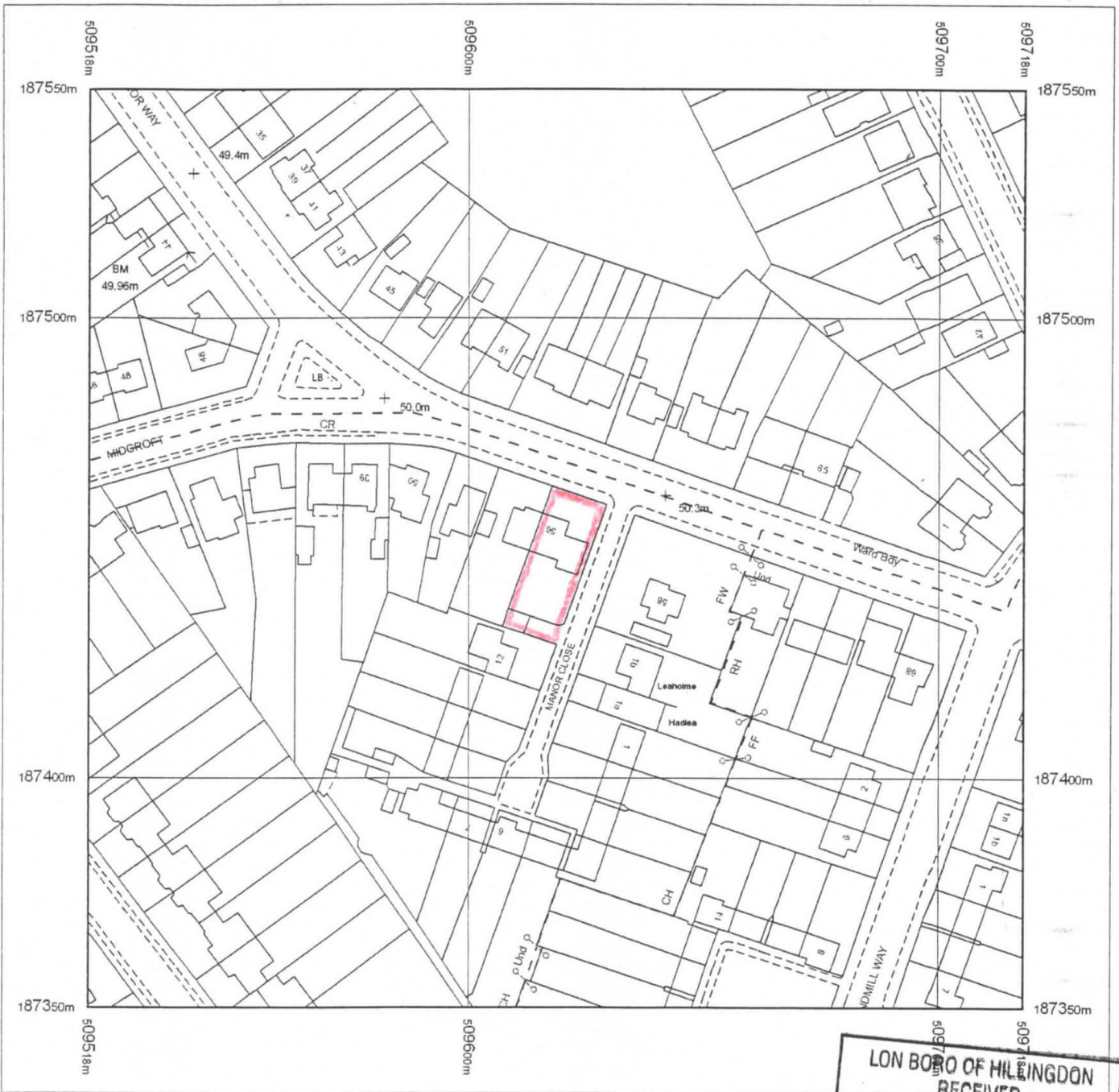
Development: Boundary wall to side and rear (Retrospective application.)

LBH Ref Nos: 19650/APP/2009/2604

Date Plans Received: 02/12/2009

Date(s) of Amendment(s):

Date Application Valid: 21/12/2009



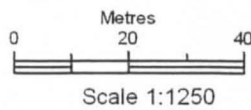
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 Serial number: 00314000
 Centre coordinates: 509618 187450

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RECEIVED**

- 2 DEC 2009

**PLANNING & TRANSPORTATION
GROUP**

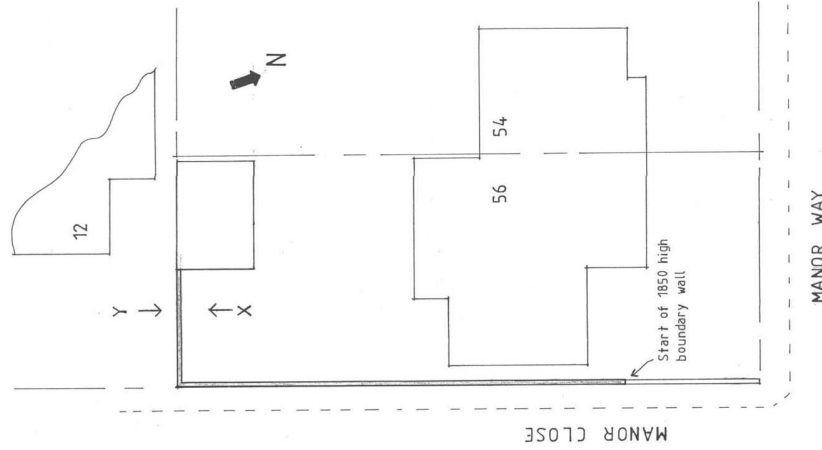
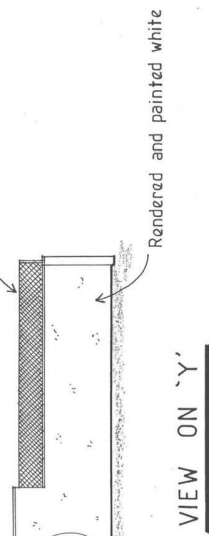
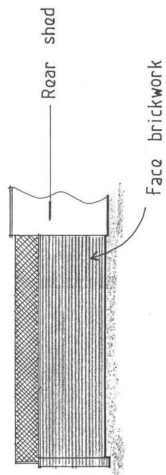
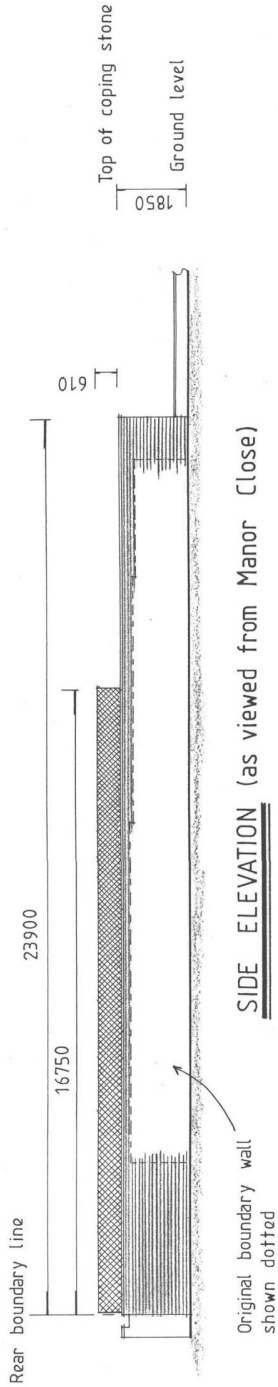
56 Manor Way

Ruislip

HA4 8HF

NOTES:

All dimensions must be checked on site and not scaled from this drawing.



Revisions	
A	Date

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SUITE B,
128 MANOR WAY,
RUISLIP,
MIDDLESEX,
HA4 8HR

Tel: 01895 622800
Fax: 01895 622900

Client
MR MRS WALICKI

Job Title
**56 MANOR WAY
RUISLIP
MIDDX**

Drawing Title
RETROSPECTIVE APPLICATION FOR SIDE BOUNDARY WALL, (AS BUILT)

Scale 1:100, 200

Date OCT 09 Drawn by MDP

Draw No.	2738/01	Rev	A
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Notes

 Site boundary

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Site Address

**56 Manor Way,
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Planning Application Ref:

19650/APP/2009/2604

Planning Committee

North Page 83

Scale

1:1,250

Date

January 2010

**LONDON BOROUGH
OF HILLINGDON
Planning &
Community Services**

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